

EXHIBIT "P"**Description of the Parcels****PHASE 1 PARCEL 4A**

A PORTION OF T-2, REUNION VILLAGE CENTER AS RECORDED IN PLAT BOOK 16, PAGES 93 AND 94 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF TRACT "A", REUNION VILLAGE 1A AS RECORDED IN PLAT BOOK 14, PAGES 129-132 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD 545; THENCE ALONG SAID WEST RIGHT OF WAY LINE NORTH 00°12'39" EAST, A DISTANCE OF 266.61 FEET; THENCE NORTH 89°47'21" WEST, A DISTANCE OF 825.71 FEET TO THE POINT OF BEGINNING; THENCE NORTH 15°40'44" WEST, A DISTANCE OF 416.61 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 480.00 FEET, A CENTRAL ANGLE OF 34°08'46" AND A CHORD DISTANCE OF 281.85 FEET WHICH BEARS NORTH 32°45'07" WEST; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 286.06 FEET; THENCE NORTH 49°49'30" WEST, A DISTANCE OF 48.64 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY HAVING A RADIUS OF 33.00 FEET, A CENTRAL ANGLE OF 94°05'06" AND A CHORD DISTANCE OF 48.30 FEET WHICH BEARS NORTH 02°46'57" WEST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 54.19 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 460.00 FEET, A CENTRAL ANGLE OF 19°56'17" AND A CHORD DISTANCE OF 159.27 FEET WHICH BEARS NORTH 54°13'45" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 160.07 FEET; THENCE NORTH 64°11'53" EAST, A DISTANCE OF 217.63 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 464.59 FEET, A CENTRAL ANGLE OF 39°51'10" AND A CHORD DISTANCE OF 316.68 FEET WHICH BEARS NORTH 44°16'18" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 323.15 FEET; THENCE NORTH 24°20'43" EAST, A DISTANCE OF 88.06 FEET; THENCE SOUTH 66°28'51" EAST, A DISTANCE OF 62.30 FEET; THENCE SOUTH 32°19'31" EAST, A DISTANCE OF 214.32 FEET; THENCE SOUTH 08°48'28" EAST, A DISTANCE OF 227.55 FEET; THENCE SOUTH 13°45'15" WEST, A DISTANCE OF 259.38 FEET; THENCE SOUTH 25°49'13" WEST, A DISTANCE OF 101.74 FEET; THENCE SOUTH 22°07'24" WEST, A DISTANCE OF 363.24 FEET; THENCE SOUTH 67°10'50" WEST, A DISTANCE OF 262.26 FEET TO THE POINT OF BEGINNING.

PHASE 1 PARCEL 5A

A PORTION OF T-2, REUNION VILLAGE CENTER AS RECORDED IN PLAT BOOK 16, PAGES 93 AND 94 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF TRACT "A", REUNION VILLAGE 1A AS RECORDED IN PLAT BOOK 14, PAGES 129-132 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD 545; THENCE ALONG SAID WEST RIGHT OF WAY LINE NORTH 00°12'39" EAST, A DISTANCE OF 133.81 FEET; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE NORTH 89°47'21" WEST, A DISTANCE OF 850.29 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 74°22'46" WEST, A DISTANCE OF 2.15 FEET; THENCE SOUTH 75°09'03" WEST, A DISTANCE OF 87.45 FEET; THENCE NORTH 64°07'31" WEST, A DISTANCE OF 37.09 FEET; THENCE NORTH 73°51'41" WEST, A DISTANCE OF 65.86 FEET; THENCE SOUTH 75°39'23" WEST, A DISTANCE OF 57.22 FEET; THENCE SOUTH 18°21'38" WEST, A DISTANCE OF 70.08 FEET; THENCE SOUTH 41°57'41" EAST, A DISTANCE OF 64.30 FEET; THENCE SOUTH 03°01'06" EAST, A DISTANCE OF 6.75 FEET; THENCE SOUTH 44°13'37" WEST, A DISTANCE OF 20.54 FEET; THENCE SOUTH 12°53'42" WEST, A DISTANCE OF 41.85 FEET; THENCE SOUTH 76°37'32" WEST, A DISTANCE OF 18.94 FEET; THENCE SOUTH 76°58'53" WEST, A DISTANCE OF 65.20 FEET; THENCE SOUTH 58°19'43" WEST, A DISTANCE OF 11.05 FEET; THENCE NORTH 58°19'05" WEST, A DISTANCE OF 33.80 FEET; THENCE SOUTH 68°39'39" WEST, A DISTANCE OF 45.68 FEET; THENCE NORTH 85°05'14" WEST, A DISTANCE OF 14.21 FEET; THENCE NORTH 08°43'49" WEST, A DISTANCE OF 58.19 FEET; THENCE NORTH 42°46'27" WEST, A DISTANCE OF 102.30 FEET; THENCE NORTH 47°37'27" WEST, A DISTANCE OF 68.29 FEET; THENCE NORTH 61°47'11" WEST, A DISTANCE OF 30.76 FEET; THENCE NORTH 30°14'39" WEST, A DISTANCE OF 4.96 FEET; THENCE NORTH 30°03'14" WEST, A DISTANCE OF 45.90 FEET; THENCE NORTH 44°45'13" WEST, A DISTANCE OF 76.07 FEET; THENCE NORTH 36°38'24" WEST, A DISTANCE OF 34.96 FEET; THENCE NORTH 62°31'13" WEST, A DISTANCE OF 28.80 FEET; THENCE NORTH 34°11'07" EAST, A DISTANCE OF 51.65 FEET; THENCE NORTH 15°10'45" WEST, A DISTANCE OF 86.14 FEET; THENCE NORTH 40°37'58" WEST, A DISTANCE OF 43.41 FEET; THENCE NORTH 50°11'44" WEST, A DISTANCE OF 56.96 FEET; THENCE NORTH 64°49'46" WEST, A DISTANCE OF 35.09 FEET; THENCE NORTH 61°48'37" EAST, A DISTANCE OF 120.97 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 37°56'04" AND A CHORD DISTANCE OF 130.01 FEET WHICH BEARS NORTH 42°50'35" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 132.42 FEET; THENCE NORTH 23°52'33" EAST, A DISTANCE OF 65.87 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 28°04'04" AND A CHORD DISTANCE OF 87.30 FEET WHICH BEARS NORTH 37°54'35" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 88.18 FEET; THENCE NORTH 51°56'37" EAST, A

DISTANCE OF 78.66 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 11°48'11" AND A CHORD DISTANCE OF 102.82 FEET WHICH BEARS NORTH 46°02'32" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 103.00 FEET; THENCE NORTH 40°08'25" EAST, A DISTANCE OF 22.41 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 33.00 FEET, A CENTRAL ANGLE OF 90°02'05" AND A CHORD DISTANCE OF 46.68 FEET WHICH BEARS NORTH 85°09'28" EAST; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 51.86 FEET; THENCE SOUTH 49°49'30" EAST, A DISTANCE OF 59.66 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 420.00 FEET, A CENTRAL ANGLE OF 34°08'46" AND A CHORD DISTANCE OF 246.62 FEET WHICH BEARS SOUTH 32°45'07" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 250.30 FEET; THENCE SOUTH 15°40'44" EAST, A DISTANCE OF 537.60 FEET TO THE POINT OF BEGINNING.

PHASE 1 PARCEL 7B

A PORTION OF T-1, REUNION VILLAGE CENTER AS RECORDED IN PLAT BOOK 16, PAGES 93 AND 94 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF TRACT "A", REUNION VILLAGE 1A AS RECORDED IN PLAT BOOK 14, PAGES 129-132 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD 545; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE THE FOLLOWING TWO COURSES: NORTH 00°12'39" EAST, A DISTANCE OF 1365.22 FEET; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE NORTH 00°12'19" EAST, A DISTANCE OF 592.28 FEET; THENCE NORTH 89°47'41" WEST, A DISTANCE OF 218.17 FEET TO THE POINT OF BEGINNING; SAID POINT BEING A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 175.43 FEET, CENTRAL ANGLE OF 62°19'11", AND A CHORD OF 181.55 FEET THAT BEARS SOUTH 73°01'05" WEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 190.81 FEET; THENCE SOUTH 43°17'51" WEST, A DISTANCE OF 20.87 FEET; THENCE NORTH 46°42'09" WEST, A DISTANCE OF 134.47 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 215.18 FEET, A CENTRAL ANGLE OF 22°00'12" AND A CHORD DISTANCE OF 82.13 FEET WHICH BEARS NORTH 25°48'04" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 82.64 FEET; THENCE NORTH 77°36'43" WEST, A DISTANCE OF 189.20 FEET; THENCE NORTH 32°16'22" WEST, A DISTANCE OF 378.73 FEET; THENCE NORTH 16°14'23" EAST, A DISTANCE OF 28.40 FEET; THENCE NORTH 59°19'35" EAST, A DISTANCE OF 505.02 FEET; THENCE SOUTH 90°00'00" EAST, A DISTANCE OF 194.71 FEET; THENCE SOUTH 00°00'00"

WEST, A DISTANCE OF 64.74 FEET; THENCE SOUTH 56°16'48" EAST, A DISTANCE OF 147.73 FEET; THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 117.72 FEET; THENCE SOUTH 60°08'05" WEST, A DISTANCE OF 141.70 FEET; THENCE SOUTH 00°00'31" EAST, A DISTANCE OF 408.63 FEET TO THE POINT OF BEGINNING.

PHASE 1 PARCEL 7C

A PORTION OF T-1, REUNION VILLAGE CENTER AS RECORDED IN PLAT BOOK 16, PAGES 93 AND 94 IN THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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EXHIBIT "II"**Use Restriction & Rules****USE RESTRICTIONS AND RULES****REUNION RESORT & CLUB OF ORLANDO**

The following restrictions shall apply to all of the Property until such time as they are amended, modified, repealed, or limited by rules of the Association adopted pursuant to Section 10 of the Master Declaration.

1. **General.** The Property shall be used for commercial, residential, hotel, timeshare, recreational and related purposes (which may include, without limitation, an information center and/or sales office for any real estate broker retained by Declarant to assist in the sale of the Property, offices for any property manager retained by the Association or a CDD; and business offices for Declarant or the Association or a CDD consistent with this Declaration and any Supplemental or Parcel Declaration).

2. **Restricted Activities.** The following activities are prohibited within the Property unless expressly authorized by, and then subject to such conditions as may be imposed by, the Board of Directors:

(a) Parking of commercial vehicles or equipment, mobile homes, recreational vehicles, boats, trailers, motorcycles, motor scooters, mopeds, all terrain vehicles, go-carts and other two-wheeled, three-wheeled, or four wheeled motorized recreational or utility vehicles, or stored or inoperable vehicles in places other than enclosed garages or parking areas designated by the Board of Directors; provided, the Board of Directors may adopt reasonable regulations regarding guest and commercial parking;

(b) Raising, breeding, or keeping of animals, except for dogs, cats, birds and other usual and customary types of urban household pets which may be reasonably kept, raised and maintained upon the Property, provided, however, that the same are not kept, raised, or maintained thereon for breeding or other business or commercial purposes or in numbers deemed unreasonable by the Board of Directors, in the exercise of their reasonable discretion. The keeping of dangerous or violent animals is prohibited. Numbers in excess of three (3) of each such type of household pet (other than aquarium-kept tropical fish) shall prima facia be considered unreasonable. Notwithstanding the foregoing provisions of this Subsection 2(b) permitting dogs, cats, birds and other usual and customary types of urban household pets, however, no reptiles, animals, birds or other pets may be kept, raised or maintained on the Property under circumstances which, in the good faith judgment of the Board of Directors, shall

constitute an unreasonable annoyance, nuisance or safety hazard to Owners and residents of the Property and their respective guests and invitees or an unreasonable interference with the comfortable and quiet use, occupancy and enjoyment of the Property or Common Property. In furtherance of the foregoing, no household pet shall be permitted to make an unreasonable amount of noise, disturb the peace or otherwise become an annoyance or nuisance. All household pets shall be kept indoors unless confined by fencing, walls or similar barriers on the property of its or their owner or custodian. No pet shall be allowed to run at large within the Property under any circumstances. Accordingly, when not confined to the property of its or their owner or custodian, all pets shall be on leash or other tether. Each Owner shall remove all waste from such animals from the Property. Any pet that the Board of Directors in its sole, absolute and unfettered discretion determines to be a nuisance shall be removed from the Unit upon request of the Board of Directors. If the pet owner fails to honor such request, the Board of Directors may remove the pet;

(c) -Any activity or condition that interferes with the reasonable enjoyment of any part of the Property or that detracts from the overall appearance of the Property;

(d) Subdivision of a Unit into two (2) or more Units, or changing the boundary lines of any Unit after a subdivision plat including such Unit has been approved and filed in the Official Records of Osceola County, except that Declarant, a Developer subject to Declarant's approval, and any person or entity expressly authorized in writing by Declarant, shall be permitted to subdivide or replat Units which it owns;

(e) Discharge of firearms; provided, the Board of Directors shall have no obligation to take action to prevent or stop such discharge;

(f) Operation of gas or other self propelled golf carts within the Property; provided, however that (i) golf carts propelled by electricity are permitted on golf courses or cart paths designated for such purpose and (ii) golf carts propelled by electricity are permitted on roads and streets on the Property if they meet requirements of applicable local and state motor vehicle laws;

(g) Conducting, participating in, or holding of any events, functions or programs that involve games of chance, raffles, gambling, wagering, betting, or similar activities where the participants pay money or give other valuable consideration for the opportunity to receive monetary or other valuable consideration; provided, however, (i) that the foregoing is not intended to bar the occasional use of the interior of a residential dwelling on the Property for the activities described in this Subsection 2(g) so long as such use is either: (A) in conjunction with fundraising activities for a non-profit or charitable organization, or (B) is a private, social, non-commercial activity and (ii) that the provisions of this Subsection 2(g) shall be inapplicable to Reunion Club Property if such activities are otherwise permitted under applicable law;

(h) Any business, trade, or similar activity in a Residential Unit, except as provided in the Master Declaration, and except that an Owner or occupant residing in a Residential Unit may conduct "discrete business activities" within the Residential Unit so long as the existence or operation of the business activity is not apparent or detectable by sight, sound, or

smell from outside the Residential Unit; the business activity does not involve regular visitation of the Residential Unit or door-to-door solicitation of residents of the Property; and the business activity is consistent with the residential character of the Property and does not violate these Use Restrictions and Rules. Examples of "discrete business activities" include, but are not limited to, computer-based telecommunications and literary, artistic, or craft activities. The Board of Directors may restrict any business activities in Residential Units that it determines interfere with the use and enjoyment of the Property in its sole, absolute and unfettered discretion. For purpose of this Subsection 2(h):

(i) The leasing of a Residential Unit shall not be considered a business or trade within the meaning of this Subsection (2)(h);

(ii) This Subsection 2(h) shall not apply to any activity conducted by Declarant or a Developer or builder approved by Declarant with respect to its development and sale of portions of the Property or its use of any Residential Units which it owns within the Property, including the operation of a timeshare, cooperative or similar program;

(iii) Garage sales, rummage sales, or similar sales shall be considered a business or trade within the meaning of this Subsection 2(h) and are prohibited; and

(iv) Notwithstanding anything to the contrary in this Master Declaration, Declarant and any Developer approved by Declarant may utilize one or more Residential Units as a show house or model home. Furthermore, Declarant and any approved Developer may utilize one or more Residential Units as a sales office for homes being constructed within the Property;

(i) No Improvements may be constructed or erected except pursuant to Section 5 of the Master Declaration. Any modifications to existing construction or landscaping, or exterior additions to Units, except pursuant to Section 5 of the Master Declaration. No basketball courts or basketball backboards or standards, skate board ramps or other similar play structures, facilities or devices (whether permanent or movable) shall be constructed, installed, placed or affixed to any Unit, or otherwise maintained outdoors or on the exterior of the residential dwelling or any other building or structures on a Unit except pursuant to Section 5 of the Master Declaration;

(j) Any construction or placement of exterior antennas, aerials, satellite dishes, or other apparatus for the transmission or reception of television, radio, satellite, or other signals of any kind unless completely contained within the dwelling on the Unit so as not to be visible from outside the dwelling or unless otherwise approved pursuant to Section 5 of the Master Declaration, except that, consistent with applicable law, one such apparatus measuring no more than one meter in diameter may be placed on a Unit subject to such reasonable requirements as to location, screening, and aesthetic compatibility as may be determined by the Board of Directors or the reviewing entity under Section 5 of the Master Declaration in order to minimize obtrusiveness as viewed from streets and adjoining property. Notwithstanding the foregoing, Declarant, the Association or their respective designees shall have the right, without obligation, to erect or install and maintain an aerial, satellite dish, or other apparatus for a master

antenna, cable system, or other communication system for the benefit of all or a portion of the Property;

(k) Any activity which violates local, state, or federal laws or regulations; however, the Board of Directors shall have no obligation to take enforcement action in the event of a violation;

(l) Pursuit of hobbies or other activities which tend to cause an unclean, unhealthy, or untidy condition to exist outside of enclosed structures on the Unit;

(m) Any illegal, noxious, unpleasant, unsightly or offensive activity which in the reasonable determination of the Board of Directors tends to cause embarrassment, discomfort, annoyance, or nuisance to persons using the Common Property or to the occupants of other Units, including, but not limited to, the use or discharge of any radio, loudspeaker, horn, whistle, bell, firecrackers, fireworks, or other sound device so as to be audible to occupants of other Units, except alarm devices used exclusively for security purposes;

(n) Outside burning of trash, leaves, debris, rubbish, garbage, or other materials, except during the normal course of constructing a dwelling on a Unit. Nothing herein contained, however, shall be deemed to prohibit the burning of wood logs or charcoal in properly constructed or installed fireplaces, barbecue cookers, or other similar apparatus, whether inside or outside of any building or other structure located on a Unit.

(o) Accumulation of rubbish, trash, or garbage except between regular garbage pick-ups, and then only in approved containers. Except when placed curbside on, and only on, regularly scheduled garbage and trash pick-up days, all garbage and trash containers and the like shall be kept in a closed garage or other outbuilding or placed inside of or behind opaque masonry walls, a dense hedge or other landscape screen (properly irrigated and otherwise maintained). Except when placed curbside for pick-up, garbage and trash containers shall, in no event, be visible from any adjacent or neighboring property, including any streets and roads;

(p) On-site storage of gasoline, heating, or other fuels, except that a reasonable amount of fuel may be stored on each Unit for emergency purposes and operation of lawn mowers and similar tools or equipment, and the Association shall be permitted to store fuel for operation of maintenance vehicles, generators, and similar equipment;

(q) Any activities which materially disturb or destroy the vegetation, wildlife, wetlands or air quality within the Reunion Resort & Club of Orlando or which use excessive amounts of water or which result in unreasonable levels of sound or light pollution. Except as may be installed initially by the Declarant or any Developer approved by the Declarant, no spotlights, flood lights, or similar high intensity lighting shall be placed or utilized upon any Residential Unit which in any way will allow light to be reflected on any other Residential Unit or upon the Common Property or any part thereof, without the prior approval of the Board of Directors;

(r) Exploration, mining, quarrying, or drilling for or other exploitation of gas, oil, phosphate or other minerals of any type or kind;

(s) The exhibition, flying, or hanging of any flags, pennants, banners, kites, towels, or the like, from any area of the Property that would be visible from the streets and roads, the Common Property, or other Units, unless first approved by the Board of Directors. A flagpole for the display of the flag of the United States of America or any other flag shall be permitted only if first approved by the Board of Directors, as to its design, height, and location pursuant to Section 5 of the Master Declaration.

(t) Drying of laundry or clothes outside of any building, on a clothes line or otherwise, on any Unit unless the same shall be placed inside of walls, fences, landscaping screens or similar type enclosures in conformity with applicable provisions of the Governing Documents. In no event shall any of the same be permitted if visible from any adjacent or neighboring property, including any streets and roads;

(u) Except during periods of their actual use and operation, the maintaining of garage doors on Residential Units in an open position such that the interior of any garage is visible from any adjacent or nearby Residential Unit or Common Property including the streets and roads.

(v) Any activity done or kept in any Unit or in any Improvements constructed on the Property or in the Common Area which will increase any applicable rate of insurance or which will result in the cancellation of insurance on any Unit or any part of the Common Area;

(w) The maintenance or repair of any vehicle upon any portion of the Property for longer than a six (6) hour period except in an emergency situation. Notwithstanding the foregoing, all repairs to disabled vehicles within the Property must be completed within twelve (12) hours from its immobilization or the vehicle must be removed; and

(x) Placing rubbish, trash, garbage or other discarded items on the Common Property or allowing such items to remain upon the Common Property.

3. Signs. The following restrictions on signs shall apply to all Residential Units within the Property unless otherwise stated, unless otherwise approved by the Board of Directors, or unless posted by Declarant or a Developer. All signs must meet the guidelines adopted by the Board of Directors.

(a) Each Residential Unit may have posted, prior to initial occupancy of the Residential Unit, a sign setting forth the Owner's name and the name of the architect and builder of the Unit and by any Owner other than a Developer approved by Declarant, a sign indicating that the Residential Unit is available for sale; provided, any such signs shall be removed at the time of initial occupancy.

(b) Except as provided in Subsection 3(a) above no signs, including "for sale" or "for lease" signs, may be posted on a Residential Unit.

(c) Declarant or any approved Developer may post "model home" or similar signs on a Residential Unit containing model homes open to the public prior to initial occupancy of the Residential Unit.

(d) No other signs, except those required by law, including posters, circulars, and billboards, may be posted on any Residential Unit so as to be visible from outside the Residential Unit; provided, however, Declarant and Developers shall be entitled to post signs without approval of the Board of Directors.

4. Window Coverings.

(a) Unless the Board of Directors otherwise agrees, the only acceptable window coverings that may be affixed to the interior of any windows visible from any street, alley or other portion of the Property are drapes, blinds, shades, shutters and curtains.

(b) No window tinting or reflective coating may be affixed to any window that is visible from any street, alley or other portion of the Properties, without the prior approval of Declarant (or the Board of Directors, if Declarant hereafter elects to delegate such approval responsibility to the Association). No reflective foil, sheets, newspapers, mirrored coatings, or other similar materials will be permitted.

EXHIBIT "III"**Conceptual Plan Requirements****Materials To Be Submitted by Owner to Declarant in Conjunction with Declarant's Review of Conceptual Plans for any Improvements****Architectural Plan Requirements:**

1. Preliminary plot plans (1" = 40' : north arrow, scale and coordinate grid system) indicating: plot boundaries; proposed buildings, existing and proposed facilities, hardscaped areas, landscaped areas, preliminary plant list, fences, walls, entry features, and other site improvements; proposed impacts to water bodies; development phases; and proposed pedestrian access and circulation.
2. One site cross-section for each site showing the relationship of proposed buildings and facilities with existing and proposed grade lines.
3. Preliminary dimensioned architectural plans, drawings and specifications (1/4" = 1'0": north arrow, scale and coordinate grid system) indicating building exteriors; general architectural floor plans, sections and elevations for exterior Improvements on or to the Parcel.
4. A conceptual construction budget for the proposed improvements.
5. All plans and other materials must be in compliance with the requirements of the Residential Design Guidelines promulgated and modified by Declarant from time to time in its sole discretion.

Infrastructure Conceptual Plan Requirements:

1. A preliminary technology plan that shall comply with Technology and Wiring Standard Requirements provided by Declarant, as the same may be reasonably promulgated and modified by Declarant from time to time in its sole discretion, including, but not limited to, pre-wiring each unit for telecommunications and security services in accordance with the Pre-Wire Specifications and Requirements.
2. A preliminary landscape plan (1" = 40': north arrow, scale and coordinate grid system) indicating: landscape design concepts; tree and shrub material groupings and planting (including, without limitation, botanical name, common name and size); existing and proposed site grading.
3. A preliminary site grading plan (1" = 40': north arrow, scale and coordinate grid system) indicating: proposed finished floor elevations; and size and inverts of primary storm drain mains.

4. All plans and other materials must be in compliance with the requirements of the Residential Design Guidelines, as the same may be reasonably promulgated and modified by Declarant from time to time in its sole discretion.

EXHIBIT "IV"**Design Development Plan Requirements****Materials to be Submitted by Owner to Declarant in Conjunction with Declarant's Review of Design Development Plans for any Improvements****General Requirement:**

1. A further refinement of and revised copies of all of the items included in the Conceptual Plans and described in Exhibit "III" above.
2. Architectural plans, drawings and specifications (1/4" =1'0": north arrow, scale and coordinate grid system) indicating: exterior building materials colors and textures; all architectural floor plans, roof plans, sections, elevations and perspectives for all exterior Improvements on or to the Parcel.
3. All plans and other materials must be in compliance with the requirements of the Residential Design Guidelines and the Technology and Wiring Standard Requirement promulgated and modified by Declarant from time to time in its sole discretion.

EXHIBIT "V"**Final Plan Requirements****Required Materials to be Submitted by Owner to Declarant in Conjunction with Declarant's Review of Final Plans for any Improvements****General Requirement:**

A further refinement of and revised copies of all of the items included in the Design Development Plans and described in Exhibit "IV";

Final Architectural Plans:

1. A detailed description of the proposed development in terms of: acreage of Parcel area; percentages of building coverage, roads, open space; the location, size (height and floor area) and function of proposed facilities; the specific disposition of the various elements of the Improvements on the Parcel, the relationship of those elements to adjacent Properties; such county, state and federal approvals as Owner is obligated to obtain.
2. Final site plans (1" = 40': north arrow, scale and coordinate grid system) indicating: existing topography, proposed grading and cut and fill calculations; site boundaries; proposed buildings, facilities, drainageways, landscaped areas, fences, walls, signs, recreational areas, and other site improvements (including, without limitation, parking and vehicular access and circulation routes); development phases; and proposed pedestrian access and circulation routes.
3. Site cross-sections showing the relationship of proposed building with existing and proposed gradelines.
4. A final landscape plan (1" = 40': north arrow, scale and coordinate grid system) indicating: the location and identification of plant material (including, without limitation, botanical name, common name and size), site furniture, signs, special paving treatments, etc.; existing and proposed grading and drainage; landscape installation details; site graphics; and site lighting.
5. Final architectural plans and engineering drawings (1/4"=1'0": north arrow, scale and coordinate grid system), details, calculations and specifications required for approvals and construction of proposed improvements indicating: floor and roof plans; exterior building materials, colors and textures; exterior building lighting; architectural sections and elevations.
6. All plans and other materials must be in compliance with the requirements of the Residential Design Guidelines and the Technology and Wiring Standard Requirement promulgated and modified by Declarant from time to time in its sole discretion.

Infrastructure Plans:

1. A final site drainage plan (north arrow, appropriate scale and coordinate grid system) meeting all applicable governmental and permit requirements, indicating: drainage; stormwater retention, on-site; stormwater disposition, on-site; and plan and profile of storm drains to the points of connection to Declarant's storm water lines.
2. A final site grading plan (north arrow, appropriate scale and coordinate grid system) indicating: proposed finished floor elevations; parking lot and main road elevations; and the size and inverts of primary storm drain mains.
3. A final utilities/services plan and report indicating all underground utilities, including, without limitation: water supply requirements; wastewater flow requirements; natural gas and electrical requirements; and a list of industrial discharges and irrigation installation design and system, including provisions for connecting to and utilizing the reclaimed water system serving the Premises.
4. A final technology plan that shall comply with technology requirements set forth as Technology and Wiring Standard Requirement, as the same may be reasonably modified by Declarant from time to time (provided such modifications do not materially increase the cost or time of construction) including, but not limited to, pre-wiring each unit for telecommunications and security services in accordance with the Pre-Wire Specifications and Requirements.
5. All plans and other materials must be in compliance with the requirements of the Residential Design Guidelines and the Technology and Wiring Standard Requirement promulgated and modified by Declarant from time to time in its sole discretion.

Specifications and Samples

The proposed Final Plans shall include schedules of, and specifications for, all materials comprising a portion of the exterior of the Improvements and samples and color-boards of the materials to be used thereon.

EXHIBIT "VI"

Approved Form of Architect's Certificate

The undersigned, the architect/engineer of record for the design and supervision of the construction of a certain _____ as referenced in those certain plans dated _____ and approved by GINN - LA ORLANDO II, LLLP, a Georgia limited liability limited partnership ("**Declarant**") on _____, 200_ (the "**Approved Plans**"), hereby certifies to Declarant, as required by the provisions of Section 3.3.3 of that certain Declaration of Covenants, Conditions, Restrictions and Obligations dated _____, 200___ and recorded in the Public Records of Osceola County, Florida, the following:

THE CONSTRUCTION OF ALL IMPROVEMENTS DEPICTED ON THE APPROVED PLANS, INCLUDING, WITHOUT LIMITATION, ALL EQUIPMENT, FITTINGS AND FIXTURES REQUIRED TO BE INSTALLED PURSUANT TO THE APPROVED PLANS, HAVE BEEN SUBSTANTIALLY COMPLETED AND INSTALLED IN SUBSTANTIAL CONFORMANCE, IN ALL MATERIAL RESPECTS, WITH THE APPROVED PLANS AND IN ACCORDANCE WITH ALL APPLICABLE LAWS RELATING TO THE CONSTRUCTION OF THE IMPROVEMENTS DEPICTED IN THE APPROVED PLANS, AND THAT DIRECT CONNECTION HAS BEEN MADE TO ALL ABUTTING PUBLIC UTILITIES (INCLUDING WATER, ELECTRICITY, STORM AND SANITARY SEWER AND TELEPHONE).

ARCHITECT/ENGINEER

By: _____

Printed Name: _____

Date: _____

JOINDER AND CONSENT


The undersigned, Capmark Bank, formerly known as GMAC Commercial Mortgage Bank, an industrial bank chartered under the laws of the state of Utah, as first mortgagee of record of the Parcel described in Exhibit "A" to the foregoing Parcel Declaration of Covenants, Conditions, Restrictions and Obligations to which this instrument is attached (the "Parcel Declaration"), does herewith join in and consent to the Parcel Declaration and that certain Master Declaration of Covenants, Conditions, Restrictions and Easements for Reunion Resort & Club of Orlando recorded January 18, 2002 in Official Records Book 1990, Page 1654, et. seq.; of the Public Records of Osceola County, Florida, as amended by that certain First Supplemental Declaration to Master Declaration of Covenants, Conditions, Restrictions and Easements for Reunion Resort & Club of Orlando recorded February 24, 2003 in Official Records Book 2200, Page 38, et. seq., of the Public Records of Osceola County, Florida ("Master Declaration"). The undersigned confirms the subordination of that certain Mortgage and Security Agreement recorded in Official Records Book 2912, at Page 2675 of the Public Records of Osceola County, Florida, together with any UCC-1 Financing Statement filed in the Public Records of Osceola County, Florida, to all of the provisions of the Parcel Declaration and Master Declaration.

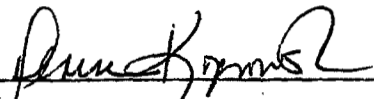
IN WITNESS WHEREOF, Capmark Bank has executed this Joinder and Consent on this 20 day of September, 2006.

WITNESSES:

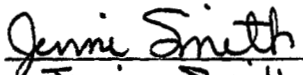
MORTGAGEE:

Capmark Bank, an industrial bank chartered under the laws of the state of Utah


KENNETH BENSON
(Print Name)

By: 
Name: DENISE KOPROWSKI
VICE PRESIDENT

Date: _____


Jenni Smith
(Print Name)

Title: _____

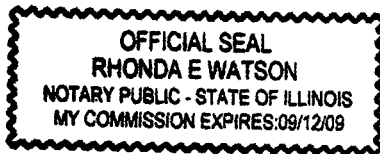
STATE OF ILLINOIS)

) SS.

COUNTY OF COOK)

The foregoing instrument was acknowledged before me this 20th day of SEPTEMBER, 2006 by DENISE KORONSKI as VICE PRESIDENT of Capmark Bank, an industrial bank chartered under the laws of the state of Utah, on behalf of the bank. He/She is personally known to me or has produced _____ as identification.

Rhonda E. Watson
Notary Public
Print Name: Rhonda E. Watson
My Commission Expires: 09/12/09



STATE OF FLORIDA, COUNTY OF OSCEOLA I HEREBY CERTIFY
that the above and foregoing is a true copy of the
original document recorded in the public records.

LARRY WHALEY, Clerk Circuit Court

Dated 9/22/06 by [Signature]

