



REUNIONSM
RESORT & CLUB OF ORLANDO

DETACHED RESIDENTIAL
DESIGN GUIDELINES

January 2003

REUNIONSM
RESORT & CLUB
OF ORLANDO



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Prepared by: **CONIN ASSOCIATES**



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NOTICE

These Detached Residential Design Guidelines and the improvements, plans, features, amenities, and facilities described and depicted herein are based upon current development plans, which are subject to change without notice. No guarantee is made that the improvements, plans, features, amenities, and facilities depicted by artists' renderings or otherwise described herein will be provided, or, if provided will be of the same configuration, style, type, size, or nature as depicted or described herein.

These materials are intended solely to provide guidance regarding certain architectural design characteristics, which are either desired or required to be incorporated in the design of the improvements described herein, unless otherwise agreed to by Ginn-IA Orlando Ltd., LLLP or The Ginn Company. These materials are not intended to constitute a complete list of all criteria that must be satisfied in order to render proposed designs acceptable to Ginn-IA Orlando Ltd., LLLP or The Ginn Company nor will compliance with all of the requirements and criteria set forth in these materials insure the approval of any particular designs which may be submitted to Ginn-IA Orlando Ltd., LLLP or The Ginn Company for approval as a prerequisite to the construction of improvements implementing such designs within the project. Ginn-IA Orlando Ltd., LLLP reserves the right to impose additional or different design requirements on any improvements to be constructed within the project.

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DETACHED RESIDENTIAL DESIGN GUIDELINES

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NOTICE

G-1

OVERVIEW

All of the information contained herein is applicable to all of the residential building types in the ReunionSM Resort & Club of Orlando development. These guidelines remain as a work in progress and may be amended or extended at any time. Please ensure that the latest release of these guidelines is being used by confirming the date of the current edition with a representative of Reunion Design Review Board.

The guidelines set forth for ReunionSM Resort & Club of Orlando are intended to be used to help steer designs toward the appropriate context and vision for this development. These guidelines strive to be flexible and user-friendly, and efforts have been made to simplify the design intent and architectural theming as much as possible, yet not be too prescriptive to limit design possibilities. Design freedom is encouraged to introduce creativity and diversity within this development. It is the responsibility of the designer to ensure that any units designed in ReunionSM Resort & Club of Orlando are true to their traditional architectural character and style. Each unit built has the responsibility to contribute favorably to the streetscape and the community.

All designs of residential units for this development must be submitted to the Design Review Board for review and approval. Should the actual construction of units be found to be inconsistent with the same designs reviewed and approved by the Design Review Board, then Ginn-LA Orlando Ltd., LLLP reserves the right to order construction stopped, repaired, or changed to comply with the approved designs or to otherwise exercise such rights as are reserved to Ginn-LA Orlando Ltd., LLLP in written agreement (s) and recorded documents affecting the property. All decisions made by the Design Review Board are final. These Design Guidelines are subject to change by Ginn-LA Orlando Ltd., LLLP at any time without notice.

COMMUNITY VISION

ReunionSM Resort & Club of Orlando is intended to be a new resort community with a traditional architectural theme and style, while utilizing good, proven and sound planning and design principles of the past. This development was planned to give priority to the community spaces, pedestrians, its residents and its naturally-existing amenities. This is accomplished by creating streetscapes that contain timeless and adored architectural styles of yesteryear that still maintain popularity today; architectural styles that have traditionally appreciated in value over time. The front façades of the houses shall take precedence over garages, and allow the blending of architectural styles and details that will give character and charm to the streetscapes. Neighborhoods contain open spaces and parks as an amenity in the community to foster recreational activities and social gatherings.

The development is planned to be pedestrian-friendly with wide pedestrian walks for activities such as walking, jogging, bicycling or rollerblading.

The Vision for ReunionSM Resort & Club of Orlando is to create a pedestrian-friendly small resort town with a traditional vernacular ambience. Pursuant to this vision, Builders and Architects shall strive to produce architectural designs of the highest quality that enhance and contribute to the overall development.

ARCHITECTURAL CHARACTER

The architectural character of ReunionSM Resort & Club of Orlando shall be derived from traditional vernacular architectural styles found within the Southeastern region of the United States. The goal of the ReunionSM Resort & Club of Orlando streetscapes is to attain an eclectic blend of varied, yet complimentary vernacular styles. Such acceptable styles may include, but not be limited to: Colonial Revival, Classical Revival, Key West/Caribbean, Charleston side yard, Craftsman/Bungalow, Carolina Cottage, Coastal, Spanish, Florida Cracker, Georgian, Victorian, Greek Revival, Mediterranean Revival, Italian Revival, Folk Victorian, Colonial, and Federal.



Rendering courtesy of Ginn-LA/Genesis



Washington Light Fixture
LA-0014



Mailbox - Savannah
MB-0003



Stop Sign with Logo
SL-0001



Speed/Information Sign
SL-0004



3" Fluted Pole and Post
ET-0001



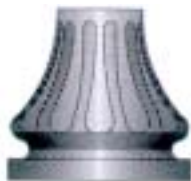
Scroll Bracket
BR-0010



Yield Sign
SL-0002



36" Decorative Sign Paddle
SN-0003



Mini Americana Base
BA-0002



Information Sign
SN-0013



Madison
Decorative Finial
FN-0008

Street Signs with Logo

SITE AMENITIES, INC.
Gene Tully III
President

941.366.2735 • Toll Free: 888.676.1717 • Fax: 941.366.1454
1133 Fourth Street • Suite 213 • Sarasota, Florida 34236
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REQUIREMENTS FOR SUBMITTALS AND REVIEW CRITERIA :

SUBMISSIONS :

Builders or designers shall prepare a package including three (3) sets of drawings and specifications for each submittal complete with the following requirements. Packages shall be dated and delivered to:

Attn: Reunion Design Review Board
 ReunionSM Resort & Club of Orlando
 7855 Osceola Polk Line Road
 Suite A
 Davenport, FL 33896
 T: (407) 396-7701
 F: (407) 396-9711

ReunionSM Resort & Club of Orlando Design Guidelines were developed with the intent to assist with, not limit, the Architectural design of the residential units for this development. Ginn-IA Orlando Ltd., LLLP or The Ginn Company will endeavor to assist Architects and Builders with review comments and welcome discussion to improve or advance the quality of the Architecture and vision of the ReunionSM Resort & Club of Orlando.

REQUIREMENTS FOR SUBMITTAL :

1. Plan review fees are as follows:

Application Type	Review Fee
a Concept Review (optional)	\$100.00
b Final Review Submittal - the original contemplated alteration of a homesite from its natural state into a residential dwelling.	\$400.00
___ Speculative	
___ Pre-Sold	

- Ⓣ Major Alteration or Addition - a structural or site modification taking place after the original construction which is significant enough to warrant the issuance of a building permit by a governmental authority.
- Ⓣ Minor Alteration or Addition - structural or site modifications of a relatively insignificant matter
- Ⓣ Changes to, or Resubmission of Plans - applies whenever a submission for which the Design Review Board previously granted Final Approval is resubmitted for Final Approval to the Design Review Board due to a minor change in the original approved plan, or whenever a submission whose approval was previously denied by the Design Review Board is submitted for Final Approval.

*(*A charge may be assessed for multiple changes at the discretion of the Design Review Board.)*

2. Contact the Design Review Board at Ginn-IA Orlando Ltd., LLLP, (407) 396-7701, for specific required submittal information. Re-reviews of designs that are required to be resubmitted due to comments from Ginn-IA are included in the initial fee with a maximum of three re-submittals. The fourth re-submittal, or any additional reviews thereafter, will be subject to the full plan review fee.

3. Minimum content for Concept Review Submittal:
- a Site plan at 1' = 20'-0" minimum or other appropriate scale.
 - b Floor plan(s), all levels at 1/8" or 1/4" = 1'-0".
 - c Front elevation and any other elevation facing a public way, public open space, or golf course at 1/8" or 1/4" = 1'-0".
 - d Roof plan(s).
 - e Area calculations.

4. Additional content for Final Review Submittal:

- a Site plan must include:
 - existing and proposed topography;
 - area calculations of site including floor-area ratio and total impervious area;
 - existing tree locations of significance;
 - approximate edges of homes on adjacent properties;
 - all required and applicable setbacks;
 - all required hardscape;
 - all required parking;
 - pool design, if desired;
 - garden structures contemplated (gazebo, trellis, pergola, etc.);
 - fencing where required;
- b Details and/or specifications for columns, exterior railings, exterior trim and profiles. Column details shall show material, size and capital and base profiles (if applicable).
- c Façade section including any porches.
- d Eave section.
- e Supportive data, details or images of precedent styles for the proposed Architectural style which inspired the submitted designs.
- f Street face photos of existing or copies of approved residences for parcels adjoining the proposed structure.
- g Sample palette of proposed exterior materials, windows, doors, exterior lighting (where fixture is visible), sculpture, fountains or other street furniture.
- h Outline specifications.
- i Exterior paint color palette with colored elevations.
- j Fence or wall designs showing locations, materials and heights.
- k Landscape plan, irrigation plan and list of plant materials.

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REQUIREMENTS FOR SUBMITTALS AND REVIEW CRITERIA (CONT'D):

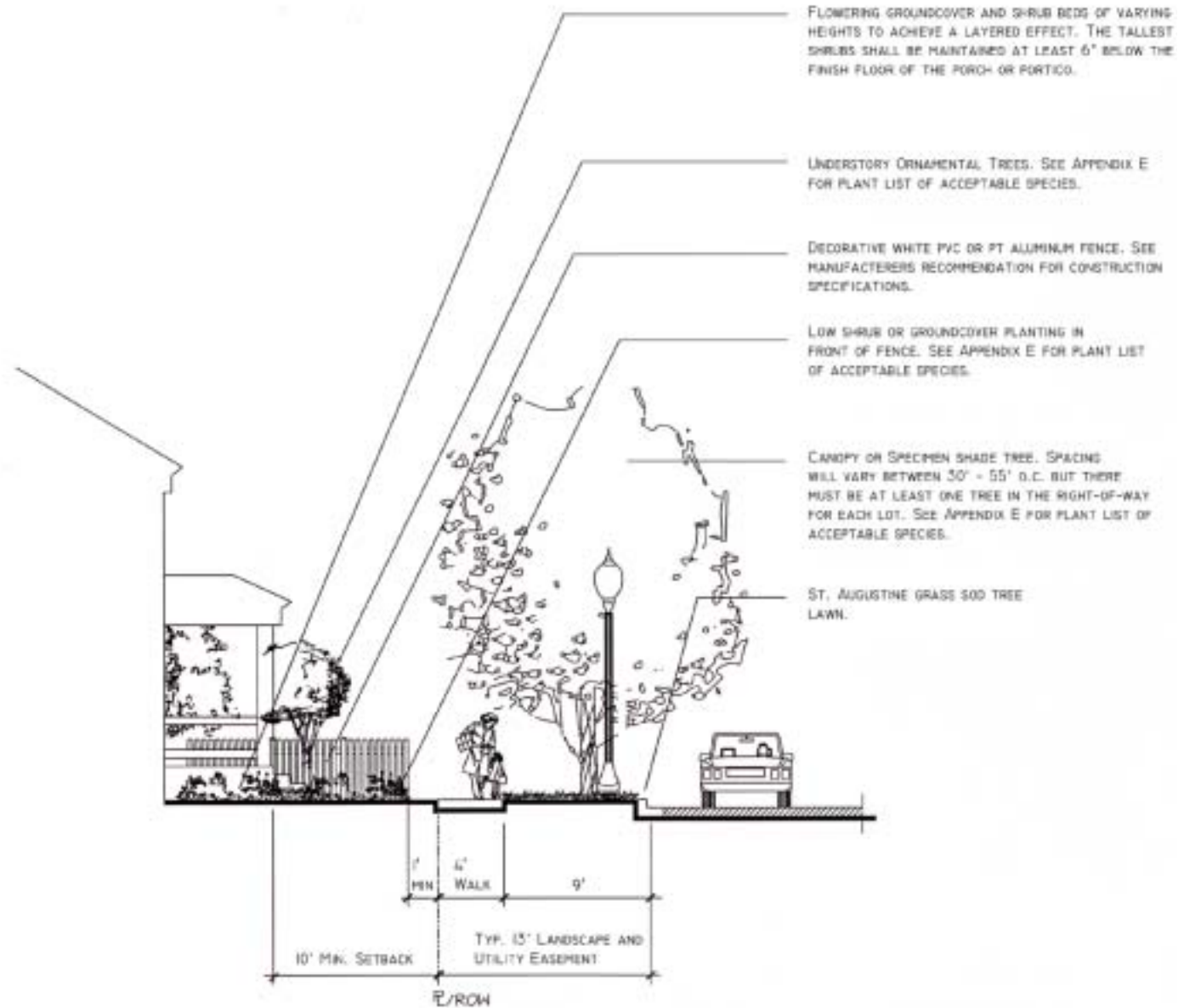
- 5 *Special Requirements Applicable to Section 2 - Phase 2, Parcels 1 & 1A only:*
Builders or designers must submit to the Design Review Board a written declaration (and also must note on the cover sheet of the construction documents) that specifies whether the proposed occupancy for the dwelling, in whole or in part, is intended for a permanent, short-term or transient occupancy. The declaration must also state and show the appropriate garage door setback requirement and parking requirement that is consistent with the design intent of the occupancy. Refer to Garage Door Setback Requirements in Section 2
- 6 *Requirements for all Parcels other than Section 2 - Phase 2; parcels 1 and 1A:*
Builders or designers must submit to the Design Review Board a written declaration (and also must note on the cover sheet of the construction documents) that specifies whether the proposed occupancy for the dwelling, in whole or in part, is intended for a permanent, short-term or transient occupancy.
- 5 Does the house design favorably contribute aesthetically to the streetscape, vistas or the views seen from open public spaces, golf course, or across water bodies along any side of the building? Does it compliment the neighboring houses?
- 6 Is the overall design acceptable to Reunion Design Review Board in its sole discretion?

REVIEW CRITERIA:

Plans submitted to the Design Review Board will be considered in part with the following criteria:

- 1 Are the designs consistent with the overall community vision?
- 2 Are the submitted designs consistent with ReunionSM Resort & Club of Orlando Design Guidelines, latest release?
- 3 Are there correct proportions and scale of the façades and architectural elements?
- 4 Are the exterior details consistent with their respective traditional architectural style precedents?

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TYPICAL STREETSCAPE SECTION

G-11

The following design criteria are requirements to assist with the preparation of the design of the detached residential units for this development. All designs are subject to the review and approval of the Design Review Board.

A Lot and Building Data.

Specific lot and building criteria for each residential parcel within the Reunion Resort and ClubSM of Orlando is divided into separate sections in this manual. Refer to the sections for information relating to lot sizes, setback requirements, building size, heights and limitations and pool setbacks.

B Foundation Walls or Stem Walls.

Exposed foundation walls or stem walls above grade in view from open public spaces, golf courses or across water bodies (including front walls, side walls or rear walls) shall be clad with preferred materials such as brick, stucco or stone. Lattice is discouraged, but may be reviewed in specific cases at the discretion of the Design Review Board.

C Finish Floor Heights.

Finish floors of interior and exterior living areas are encouraged to be elevated 18" above finish grade on all faces oriented toward public streets for purposes of visual privacy when such faces are less than ten (10) feet from the rear edge of a sidewalk.

In addition:

1. For building (other than garage) or porch faces of 0' to 10'-0" of horizontal separation: the finish floor shall be elevated a minimum of 18" above finish grade at the property line.

2. For building (other than garage) or porch faces of 10'-0" to 15'-0" of horizontal separation: the finish floor shall be elevated a minimum of 12" above finish grade at the property line.

3. For building (other than garage) or porch faces of 15'-0" of horizontal separation or greater: the finish floor shall be elevated no less than 8" above finish grade at the property line.

4. When property lines abut golf course property and the golf course property is depressed below the grade of the house by more than 18" within the first 15'-0" of horizontal separation from the property line, neither the rear porch nor the house shall be required to have an elevated finish floor above 8".

Note: The finish floor of a building may be governed by a variety of Federal, State, and Local accessibility codes. It is commonly required that all residential structures provide for an accessible path to the primary entry. If the standards of this section conflict with any Federal, State or Local accessibility code, then such jurisdictional codes shall govern.

D. Porches, Balconies, Stoops, Porticos and Lanais.

Porches, balconies, stoops, porticos and lanais or other similar spaces shall be a minimum of six feet (6') in both width and depth so they are usable. Such exterior building elements may not be screened when visible from the public way, open public spaces, golf courses or across water bodies. Any exterior living areas on the ground level such as lanais, porches, balconies, patios or other similar spaces shall have railings if the properties abut or face a golf course in order to prevent

occupants from having direct and immediate access to the golf course property from exterior living spaces.

E. Chimneys and Bay Windows.

Chimneys and bay windows may encroach into the side yard or front yard setbacks only if approved by the county in each parcel or unless otherwise prohibited by county codes.

F. Exterior Cladding.

Recommended materials for exterior wall finishes shall include stucco, siding, brick, stone or any combination thereof as long as the exterior wall finishes are consistent with their respective architectural style precedents. Other appropriate materials may be reviewed at the discretion of the Design Review Board. Vinyl or aluminum siding is not permitted. Stucco finishes, regardless of their structural underpinning, shall be uniform and flush when visible from the exterior.

G. Porch and Balcony Railings.

Recommended materials include wood, PVC, concrete, stone or faux stone, or wrought iron. Railing styles shall be consistent with their respective architectural styles. Aluminum is not permitted.

H. Columns.

Columns shall be authentically styled consistent with their respective style of architecture. Column materials include wood, fiberglass, GRC, concrete, stone or faux stone.

Posts may be made of wood with its capital and base made of wood trim.

Field-fabricated columns may be acceptable when fabricated to a near perfect dimension. Sub-framing shall be such to avoid shape irregularities.

The capitals and bases of field-fabricated columns must be detailed to accurately represent the same with their historical precedent. Expanded polystyrene foam may be acceptable at the discretion of the Design Review Board.

Scored or raised stucco bands to represent capitals or bases is not permitted.

I. Condensor Units.

Condensor units may be restricted in the sideyards within county ordinances. Condensor units may not be placed in the front yards, corner lot side yards (sides which are exposed to the street) or rear yards within view from public or other open spaces.

If it becomes unfeasible to properly locate the condensor units in the sideyards, then concealing the condensor units with visual and acoustical screening by vegetation or low walls may be an acceptable alternative.

J. Elevation Diversity.

To the extent possible, replication of similar elevations along the streets shall be avoided. Elevations may not be duplicated within four houses of each other, on the same or both sides of the street. Efforts shall be made to vary color, finishes and materials from one house to another. Elevation and style diversity is preferred to the extent possible.

K. Façade Design.

Variety of any structure's massing and building form is encouraged in order to create different and interesting facades along the streetscape. Facades shall be properly scaled and proportioned. The architectural style of the home shall be applied on all sides of the structure and

shall include window trim, window subdivisions, attic ventilation louvers, eave details, etc.

L. Parking Structures and Spaces.

Garages are optional and may be one car, or two or more cars, or support a second story that may serve as a bonus room or extra bedroom. Carports or parking spaces may be covered (with a trellis, for example) or uncovered, or any combination thereof. Garages that face the street shall contain the same or similar architectural details that are used on the main structure and shall have architectural interest as if designed as the front façade of a house.

The garage face, when oriented toward the public street, should seek to de-emphasize the utility of the building by shielding, to the maximum extent reasonable, garage doors, meter bases, garbage receptacles. This could be done by one or more of the following means:

- Using independent garage doors for each parking lane therein so to reduce the garage prominence;
- Sheltering the door in recesses behind the forward position of the garage building structure;
- Providing overhangs or porch-like shelters over the garage door;
- Positioning carports forward of the garage as added sheltered parking; or
- Staggering multiple garage door faces slightly to the building massing.

M. Ceiling Heights for Primary Spaces within the Principal Structure.

First floor and second floor ceiling heights shall be 9'-0" minimum above the finished floor for primary spaces such as living rooms, dining rooms, kitchens or

bedrooms. Ten feet (10'-0") is preferred. Excluded from this requirement are accessory spaces such as closets, hallways, powder rooms, etc., and where habitable attic spaces (those spaces contained within roof shapes) occur, such as a room or storage room on a second or third level.

N. Window Sizes. Window sizes, shapes and mounting heights should seek to be as statured as possible and should be consistent in form, proportion, subdivision, and operating function with those considered appropriate to the style selected for the dwelling. Deviations from acknowledged traditional applications will be considered only with photo evidence of its select use on traditional buildings, or upon appeal for distinct and special design reasons.

O. Window Subdivisions.

Window subdivisions shall be maintained as the same on all windows on all sides of the structure.

P. Shutters.

If shutters are part of the design, then each shutter shall be at a minimum equal to half of the window size

Shutter shapes and proportions shall respond to the window shapes they are intended (or implied) to protect. Their panel treatment or fabrication shall find inspiration in traditional design standards of the style selected.

Q. Roofs.

Prominent flat roofs in excess of 10% of the overall roof area of any structure shall be generally prohibited. The Design Review Board, in its sole discretion, may relax this standard when design adherence to traditional executions deems it appropriate.

R. Roof Materials.

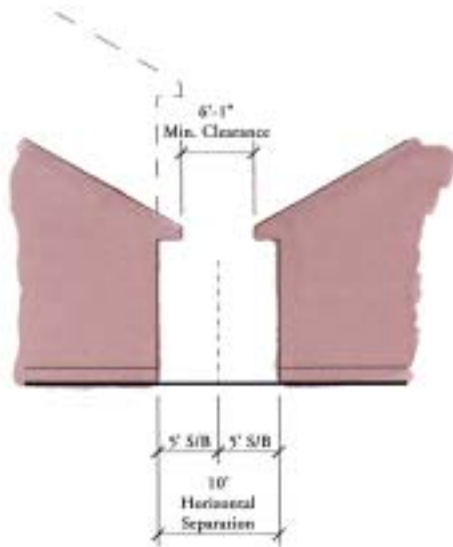
Roof materials are required to be tile, standing seam metal or fiberglass architectural grade (dimensional) shingles. Other materials, if appropriate to their traditional style precedent, shall be considered at the discretion of the Design Review Board.

S. Fascias.

Fascia materials, fabrications, and dimensions shall be consistent with the standards of the tradition style selected. Where uncertainty exists, the applicant may provide photo evidence to support the condition desired.

T. Eaves, Projections, and Building Overhangs.

A separation in excess of six feet between eaves, building projections, and building overhangs of adjacent dwellings must be achieved. No eave, projection or building overhang may extend into the building setbacks more than 2'-0" to any point thereof on any side of the structure.



U. Exterior Trim / Details.

Any Architectural appointments or trim details must be consistent with the architectural style of the structure. If Architectural appointments such as shutters or Louvers are decorative, they may be of wood or copolymer material. If stucco cladding is used, then trim details must be raised or profiled by the use of j-molds or expanded polystyrene (EPS, foam). Details such as shutters, Louvers or any other appointment may not be scored into the stucco.

V. Exterior Paint Colors.

Exterior paint colors shall be submitted to the Design Review Board for review and approval.

W. Window Air Conditioning Units.

Window air conditioning units shall not be permitted where visible from any adjoining property or public space.

X. Drainage, Grading, Finished Floor Elevations.

Special attention shall be given to property site surface drainage, so that surface waters will not interfere with surrounding home sites and natural flows. Paved areas shall be designed to allow surface water to drain naturally and not allow water to collect or stand. Dwellings shall have a minimum floor elevation equal to or greater than 18" above the one hundred year flood elevation or as otherwise mandated by FEMA (Federal Emergency Management Agency). The minimum finished floor elevation shall not be lower than elevation 9.0 NGVD (National Geodetic Vertical Datum).

Site plans shall show physical improvements or elements of the landscape or terrain, which control or determine the location or flow of surface water and drainage patterns. No improvements shall be made without

prior approval of the Design Review Board.

The minimum floor elevations shall meet local, state and federal requirements at the time of building permit application.

A final certified topographic survey shall be provided to the County prior to issuance of a Certificate of Occupancy to confirm compliance with this criterion.

Y. Driveways.

Parking spaces, garages, curb cuts and the driveway to a garage shall be planned and executed in an attractive and functional manner and shall consider the location of existing trees, topography, streetscape and compatibility with surrounding improvements. NO driveway shall connect to any arterial street unless, following design review, unusual site conditions dictate otherwise.

All home sites shall have a paved driveway of stable and permanent construction. Unless prior approval is obtained from the Design Review Board, all driveways must be constructed of brick, stamped concrete, stone or similar material. When curbs are required to be broken for driveway entrances, the curb shall be repaired in an orderly fashion in such a way that is acceptable to the Design Review Board.

Alley driveways shall have a three foot by six foot flare typical to accommodate full size vehicle turning radius.

Z. Street Front Improvements.

The Design Review Board shall review the landscape and site plan to ensure that street tree spacing and landscaping is consistent with neighboring home sites and that they are within the street right-of-way.

Sod shall be St. Augustine grass (*Stenotaphrum secundatum* 'Floratum' is recommended) unless otherwise approved by the Design Review Board. The sodded area of the homesite shall be provided with an automatic underground irrigation system.

AA. Games and Play Structures.

Any fixed games and play structures are subject to approval by the Design Review Board and shall be located at the side or rear of the building not visible from the street, golf course, open spaces, public way or vistas, or in a manner that detracts from views of water or from neighboring homesites. The preferred location of fixed structures is within the homesites prescribed building envelope. All permanent, fixed basketball backboards are prohibited.

BB. Swimming Pools, Decks and Pool Enclosures.

Any swimming pool, deck or enclosure to be constructed upon any homesite must be approved by the Design Review Board. The design submittal must include all design components including materials, finishes and colors for the pool, pool deck, fence, additional landscape, pool equipment or any other requested element. Screen enclosures are prohibited in the ReunionSM Resort & Club of Orlando neighborhoods. At the discretion of the Design Review Board, a screened enclosure may be acceptable if constructed in a manner consistent with the architectural style of the home.

Approved manufacturers of pool pumps, chlorine feeders, filters and any other pool equipment are limited to Hayward, Pac Fab and Sta Rite. Any other pool manufacturer may be reviewed at the discretion of the Design Review Board.

Swimming pools (water's edge), spas and screen enclosures must be constructed within the prescribed building setbacks of the site.

Unroofed Decks and patios may extend to the sideyard and rear yard property lines.

CC. Lighting Fixtures.

All exterior lighting fixtures shall be in a style consistent with the character established for the ReunionSM Resort & Club of Orlando neighborhood and be limited to the minimum necessary for safety, identification, and decoration.

Fixtures shall be located, to the extent possible, such that direct lighting is minimized to not disturb adjacent or neighboring home sites.

Floodlights, if required for security, shall be positioned to not shine into the windows, porches, outdoor spaces or yards of neighboring or adjacent home sites.

Any lighting fixtures, with the exception of gas lighting fixtures, within view from neighboring home sites, public ways or open spaces shall have frosted lenses or other means so bulbs are not visible.

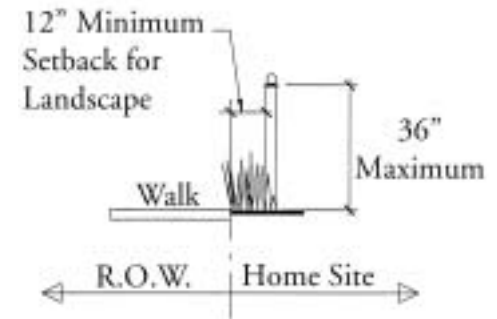
DD. Fences and Walls.

Any proposed fences and walls, including front yard fences, rear yard fences, side yard fences, pool enclosure fences, patio walls, screen walls, garden walls or retaining walls, must be submitted for approval to the Design Review Board if there is a demonstrated need for the wall or fence.

Design styles and fabrications of any or all fences or walls shall follow the convention of the house style

selected. Walls or fences may be composed of PVC, iron, brick, masonry, stone, stucco or other fence and wall structures as appropriate.

Wood fences, particularly stockade style, is discouraged but may be reviewed in specific cases at the discretion of the Design Review Board.



Fence setback and height in front yards and corner lot sideyards.

Fence or wall designs must vary from lot to lot and may not be duplicated within four houses of each other.

Front yard and corner lot sideyard fences shall be a maximum of 36" above the finished grade. Fences in these locations must also be setback a minimum of 12" from the edge of the sidewalk.

Rear yard and interior lot sideyard fences (fences that occur between two adjacent lots) shall be a maximum of 72" high (6'-0") above the finished grade, when they extend for any distance from the front yard setback line to the rear yard. Interior lot sideyard fences that extend into the front yard setback may be a maximum of 36" high.

EE. Mailboxes and other Site Components .

Mailboxes and any other site components shall be as specified on sheet G-8.

Mailboxes shall include no more than the surname and house number of the resident and shall be located at the street front of each home site as prescribed by the United States Postal Service.

FF. Trash, Waste and Recycling Containers.

Trash and waste containers shall be located within the garage and/or in the rear yard screened from the public view with an opaque wall that is compatible with the building's exterior material and style or by landscaping.

GG. Minimum Landscape Requirements.

Refer to the landscape plans in each section and the preferred plant list in Appendix E for the minimum landscape required for each home site.

HH. Prominent Lots.

Some lots in each parcel may be considered as prominent lots by the developer.

Such lots shall be chosen, at the discretion of the Reunion Design Review Board, to feature certain prominent plans and elevations that may add value to each parcel.

Builders shall meet with the Reunion Design Review Board to discuss and review such selected homesite locations.

I. Alterations and Additions.

Any proposed exterior improvements, alterations, or additions to any dwelling unit built or under construction, whether major or minor in scope, must

be submitted to the Design Review Board for approval. The design of such improvements must be compatible with the principal built structure and must conform to these guidelines.

SECTION 2

PHASE 2, PARCELS 1 & 1A

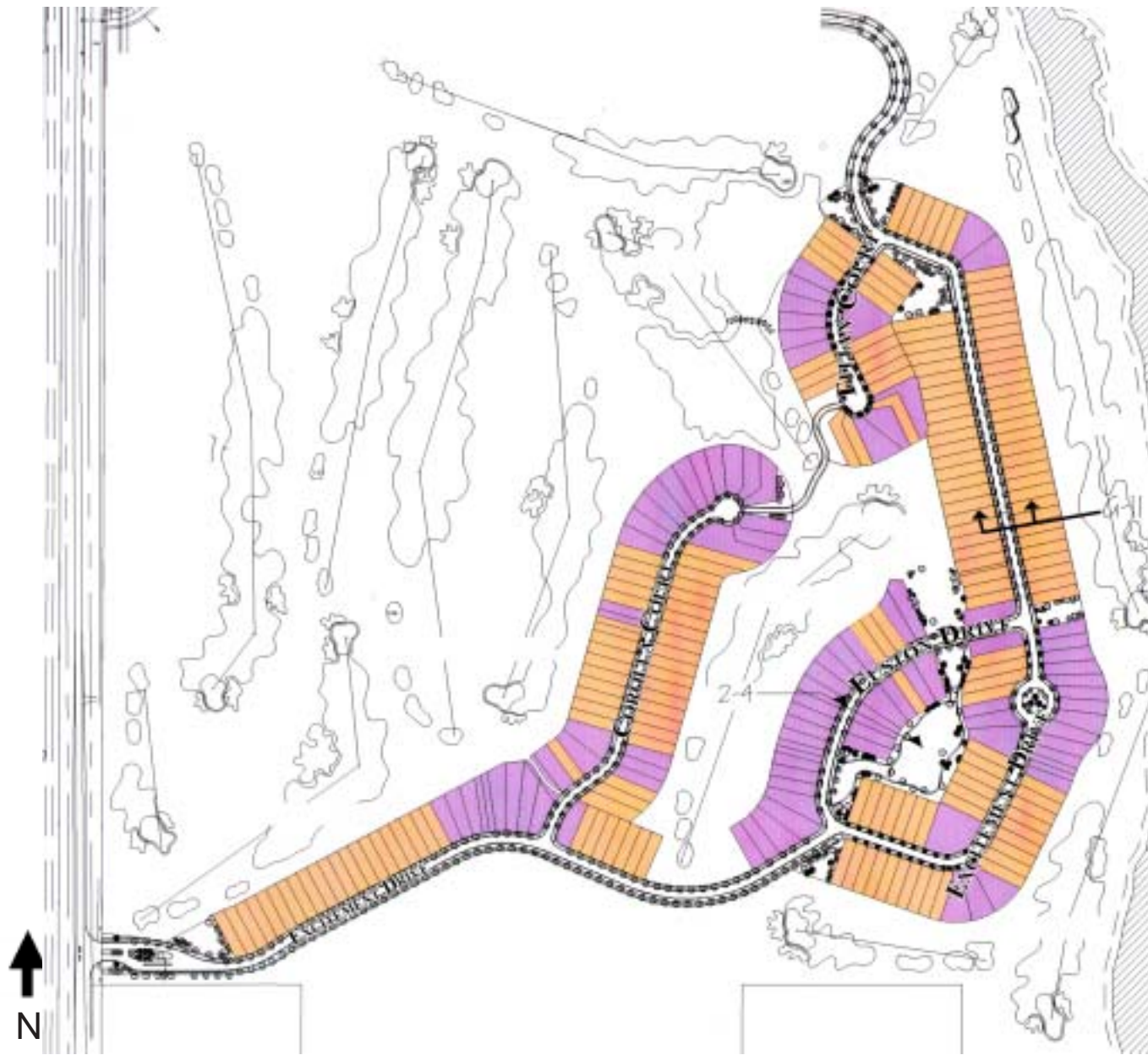
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PHASE 2
PARCEL 1 AND 1A

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LOT LEGEND		# LOTS
	- 35' LOTS	183
	- 35' + LOTS	88
TOTAL LOTS:		271

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Building Setback Chart

Product	Minimum Lot Area	Maximum Imp. Area Per Lot	Garage ^① Setback	Front Setback	Side ^② Setback	Rear Setback	Corner Setback	Minimum ^③ Building Size
Standard Lot	4,970 S.F.	90%	42' or 22'	10'	0 and 10'	7' Building 0' Lanai	10' Min.	1,800 SF

General Notes:

1) The garage setback will vary upon the dwelling unit's occupancy. The parking standard requires 2 spaces per dwelling unit (or occupancy) outside a parking structure.

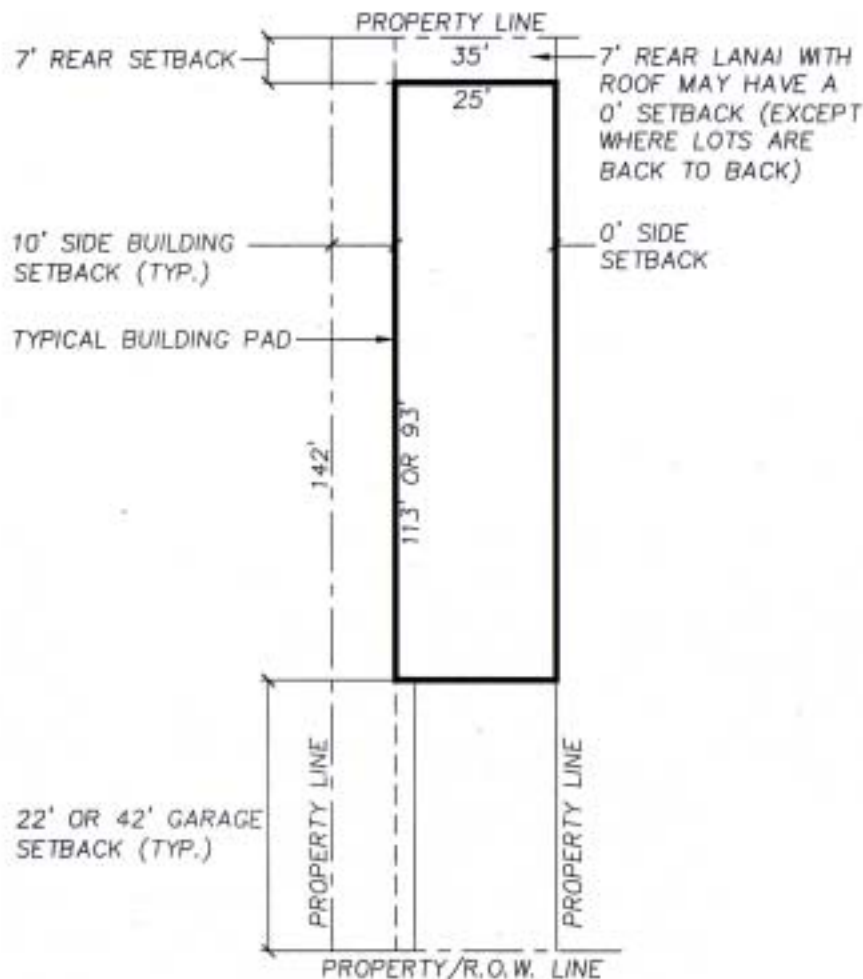
If the dwelling unit is designed for up to two separate occupancies, then the required garage setback shall be 22' to allow 2 guest parking spaces outside of a principal dwelling unit's 2 required parking spaces.

If the dwelling unit(s), in whole or in part, is designed for up to three units for short-term or transient occupancies, then the required garage setback shall be 42' to allow 4 guest parking spaces outside of a principal dwelling unit's 2 required parking spaces. The intended occupancy use and required garage door setback must be stated in a declaration when submitting to the Design Review Board and must also be shown on the cover sheet of the construction documents.

2) Building must maintain an excess of six-foot, one-inch (6'-1") separation between architectural projections. Ancillary items such as a/c pads, roof overhangs, pool pumps, walls/fences, chimneys, bay windows and similar items may intrude into the side yard setback.

Within the property lines of each lot, a homeowner may have an unpredictable number of accessory uses such as pools, pool enclosures, cabanas, pool pumps, sheds, etc., and these uses will differ upon each homeowner's lifestyle and their individual needs. Any accessory use, therefore, must comply with required setbacks and noted on a site plan at the time a building permit is applied for.

3) Refer to the glossary for the calculation of minimum building area in air conditioned square footage.



Typical Standard Lot

Typical Lot Dimensions

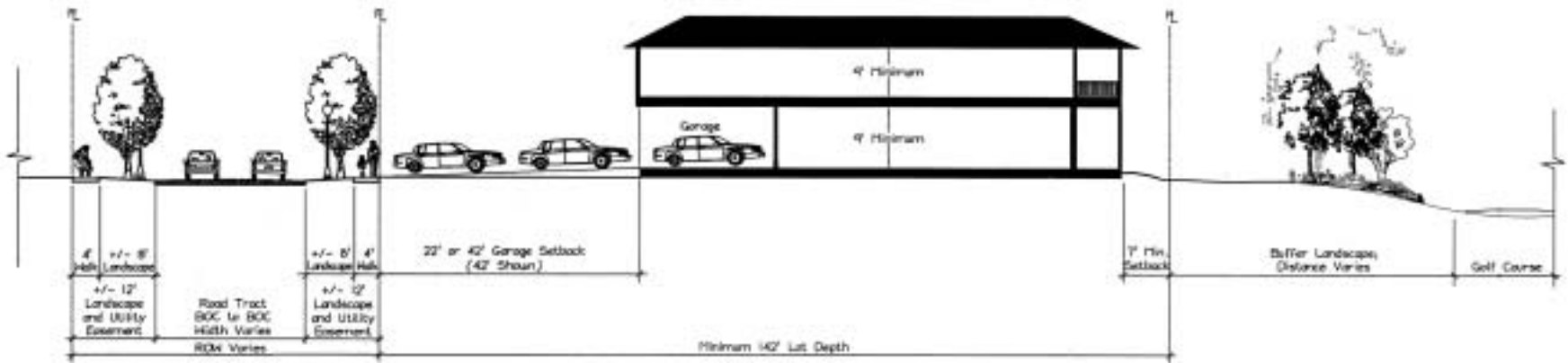
Width	35 ft.	Min. Measured at Mid-point of Lot
Depth	142 ft.	Minimum
Lot Area	4,970 sq. ft.	Minimum Lot Size

Building Envelope (Primary Structure)

Envelope Dimensions	25' wide x 113' (with 22' garage setback)
	25' wide x 93' (with 42' garage setback)
Building Height	1 to 3 Stories (40' Max.)

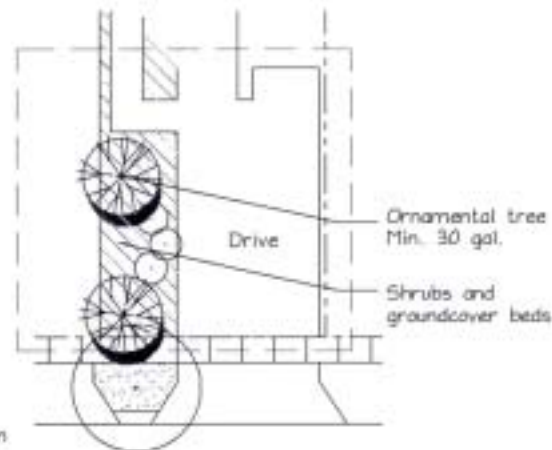
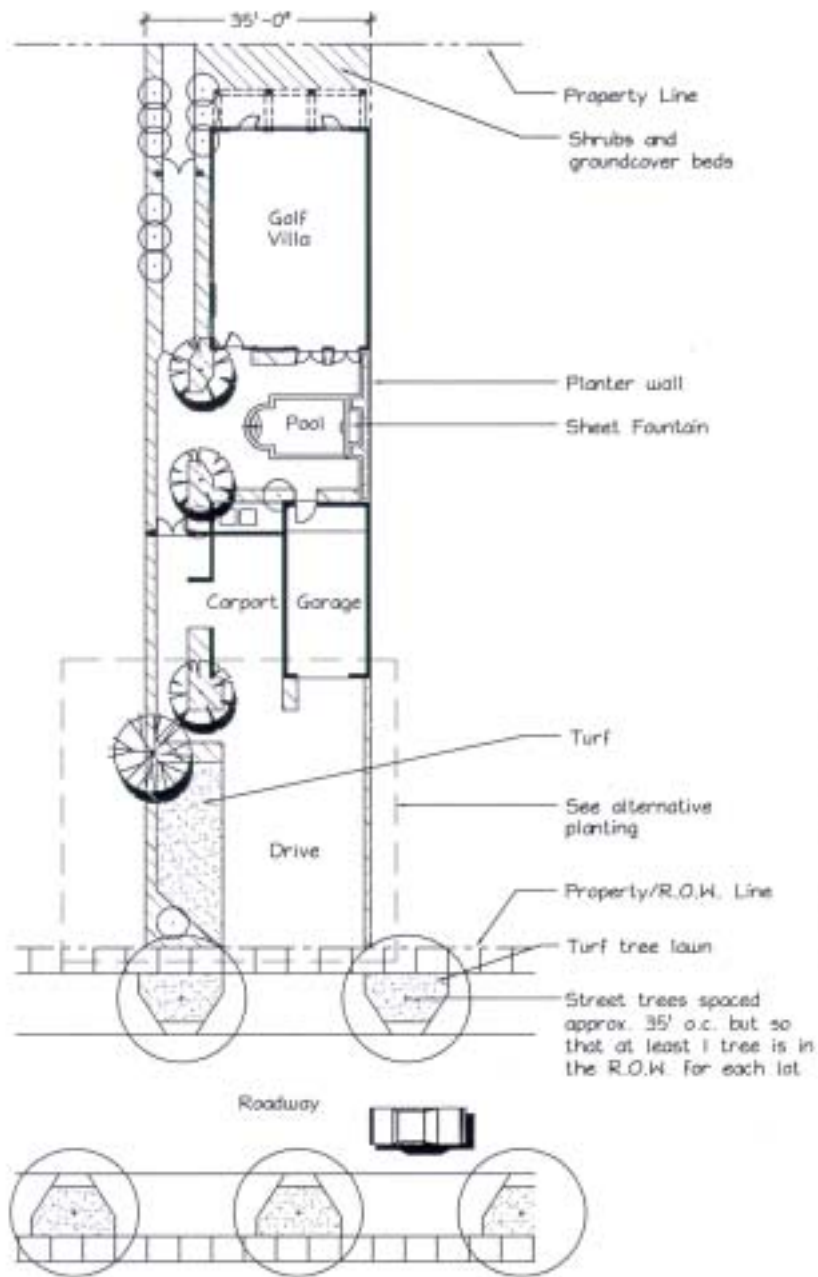
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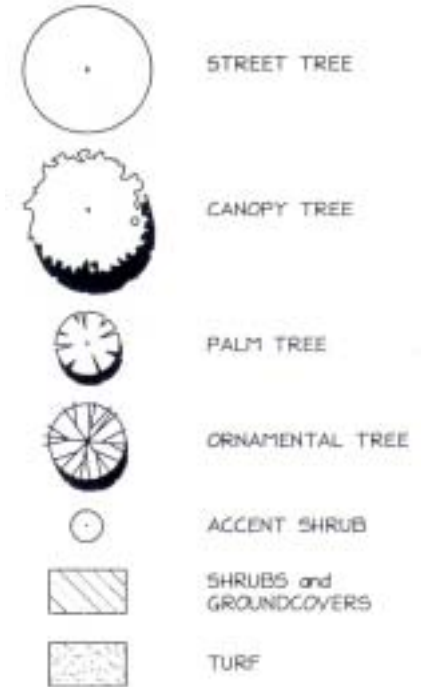


NOTE: EXCITED DRIVE AND GUSTON DRIVE REQUIRE 8' WIDE LANES WHILE COROLLA COURT AND TITAN COURT REQUIRE 10' WIDE LANES. REFER TO KEY MAP FOR STREET NAMES.

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LANDSCAPE LEGEND



FOR A LIST OF PLANT SPECIES AND SIZE FOR EACH CATEGORY REFER TO THE PREFERRED PLANT LIST IN APPENDIX E.

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SECTION 1

PHASE 1, PARCEL 1

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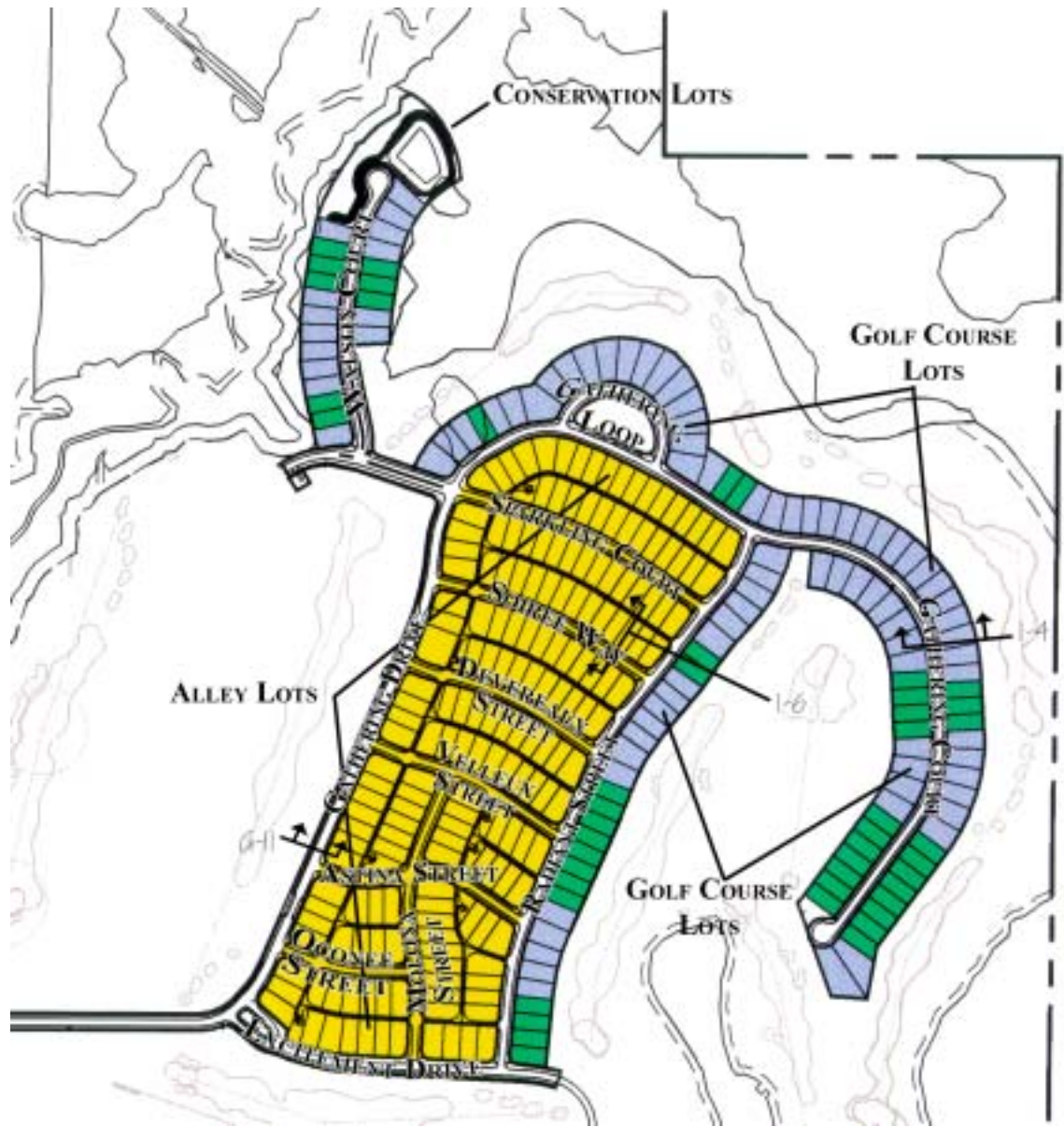




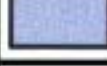
PHASE 1
PARCEL 1



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LOT LEGEND		# LOTS
	- 50' LOTS	182
	- 55' LOTS	47
	- 55'+ LOTS	88
TOTAL LOTS:		317

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Building Setback Chart for Golf Course / Conservation Lots

Product	Minimum Lot Area	Maximum Imp. Area Per Lot	Garage Setback	Front Setback	Side ^① Setback	Rear Setback	Corner ^② Setback	Minimum ^③ Building Size
Golf Course / Conservation Lot	6,600 S.F.	90%	22'	10' Min.	5' Min.	7' Min.	5' Min.	2,000 SF

General Notes:

- 1) Building must maintain an excess of six-foot, one-inch (6'-1") separation between architectural projections. Ancillary items such as a/c pads, roof overhangs, pool pumps, walls/fences, chimneys, bay windows and similar items may intrude into the side yard setback.
- 2) At street intersections with corner clip.
- 3) Refer to the glossary for the calculation of minimum building area in air conditioned square footage.

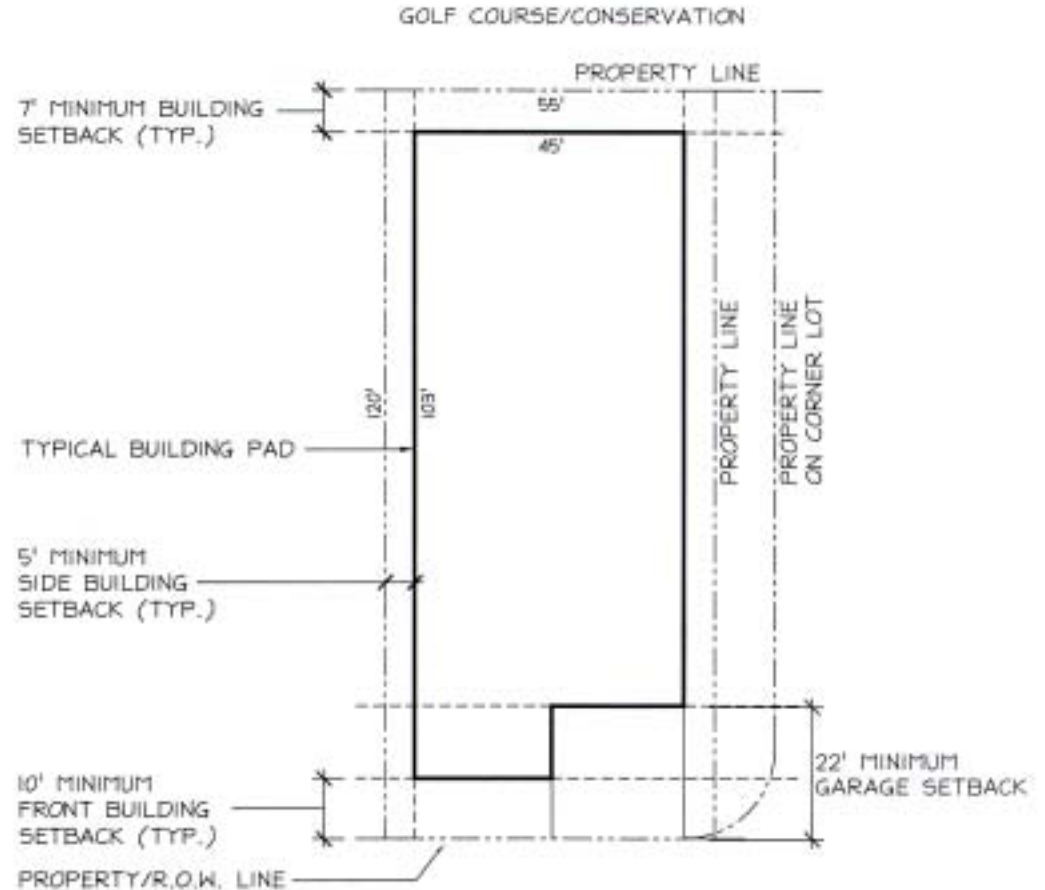
Typical Golf Course (Conservation) Lot

Typical Lot Dimensions

Width	55 ft.	Measured at Mid-point of Lot
Depth	120 ft.	Minimum (124.5' Standard)
Lot Area	6,600 sq. ft.	Minimum Lot Size
	6,847.5 sq. ft.	Average Lot Size

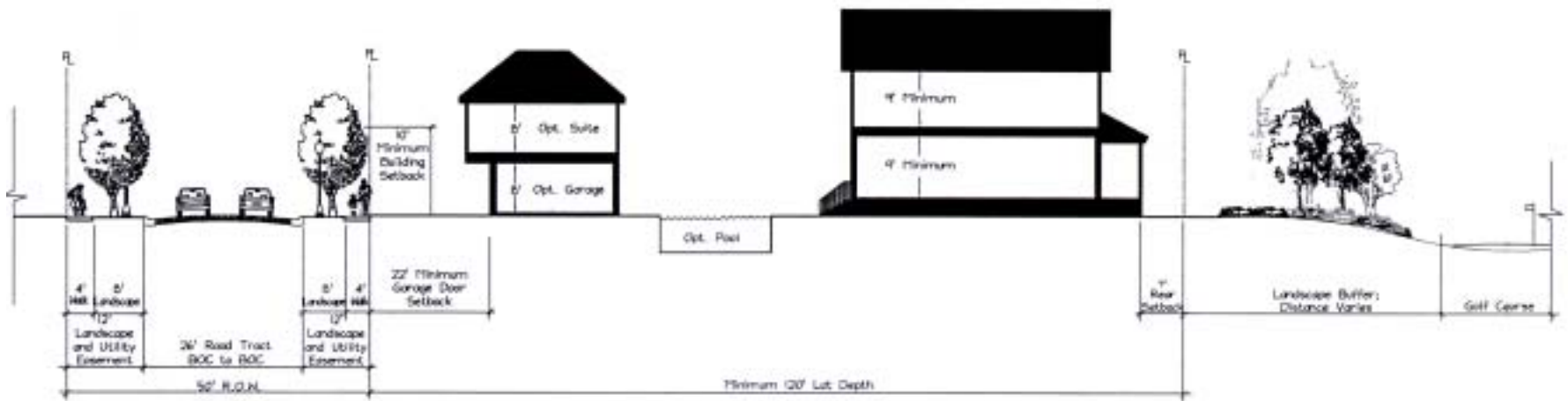
Building Envelope (Primary Structure)

Envelope Dimensions	45' x 103'
Building Height	1 to 3 Stories (40')



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Building Setback Chart for Alley Lots

Product	Minimum Lot Area	Maximum Imp. Area Per Lot	Garage Setback	Front Setback	Side ^① Setback	Rear Setback	Corner ^② Setback	Minimum ^③ Building Size
Alley Lot	6,225 SF	90%	29' ^④	10' Min.	5' Min.	12' Min. ^⑤	5' Min.	2,000 SF

General Notes:

- 1) Building must maintain an excess of six-foot, one-inch (6'-1") separation between architectural projections. Ancillary items such as a/c pads, roof overhangs, pool pumps, walls/fences, chimneys, bay windows and similar items may intrude into the side yard setback.
- 2) At street intersections with corner clip.
- 3) Refer to the glossary for the calculation of minimum building area in air conditioned square footage.
- 4) Alley garage setback measured from property line.
- 5) Rear building setback measured from property line.

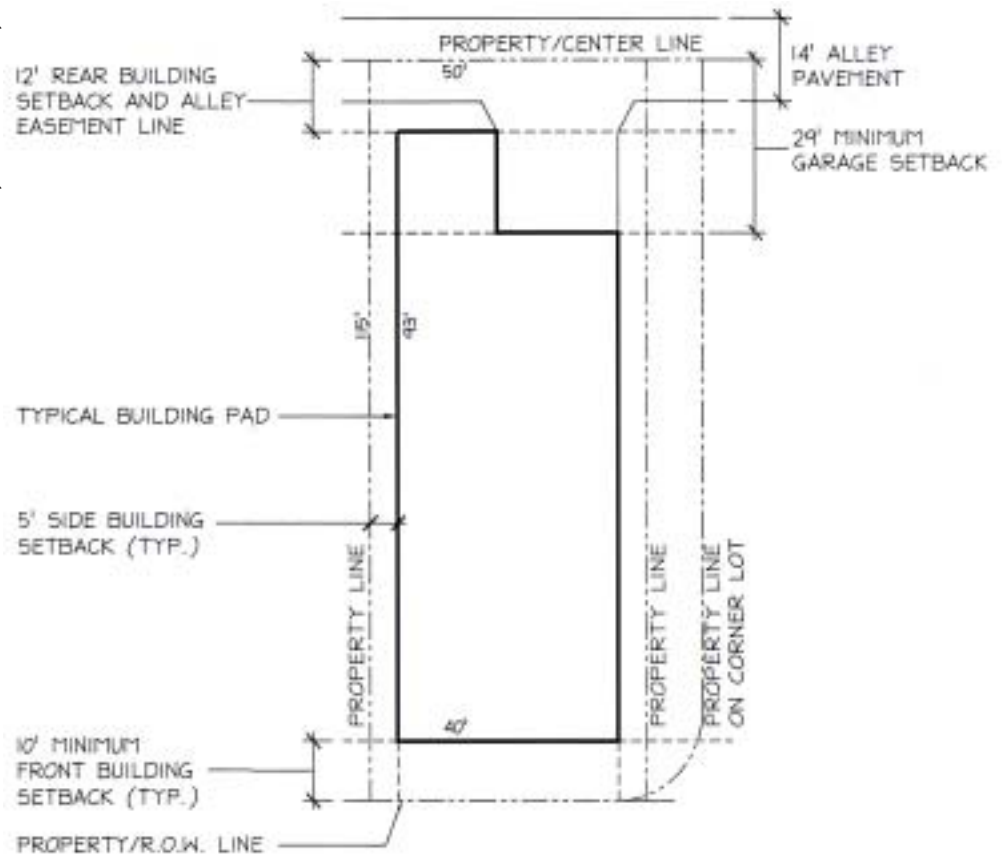
Typical Alley Course Lot

Lot Dimensions

Width	Int. 50 ft.	(Min.) Measured at Mid-point of Lot
Depth	115 ft.	Min. (124.5' Standard)
Lot Area	6,225 sq. ft.	Min. Lot Size

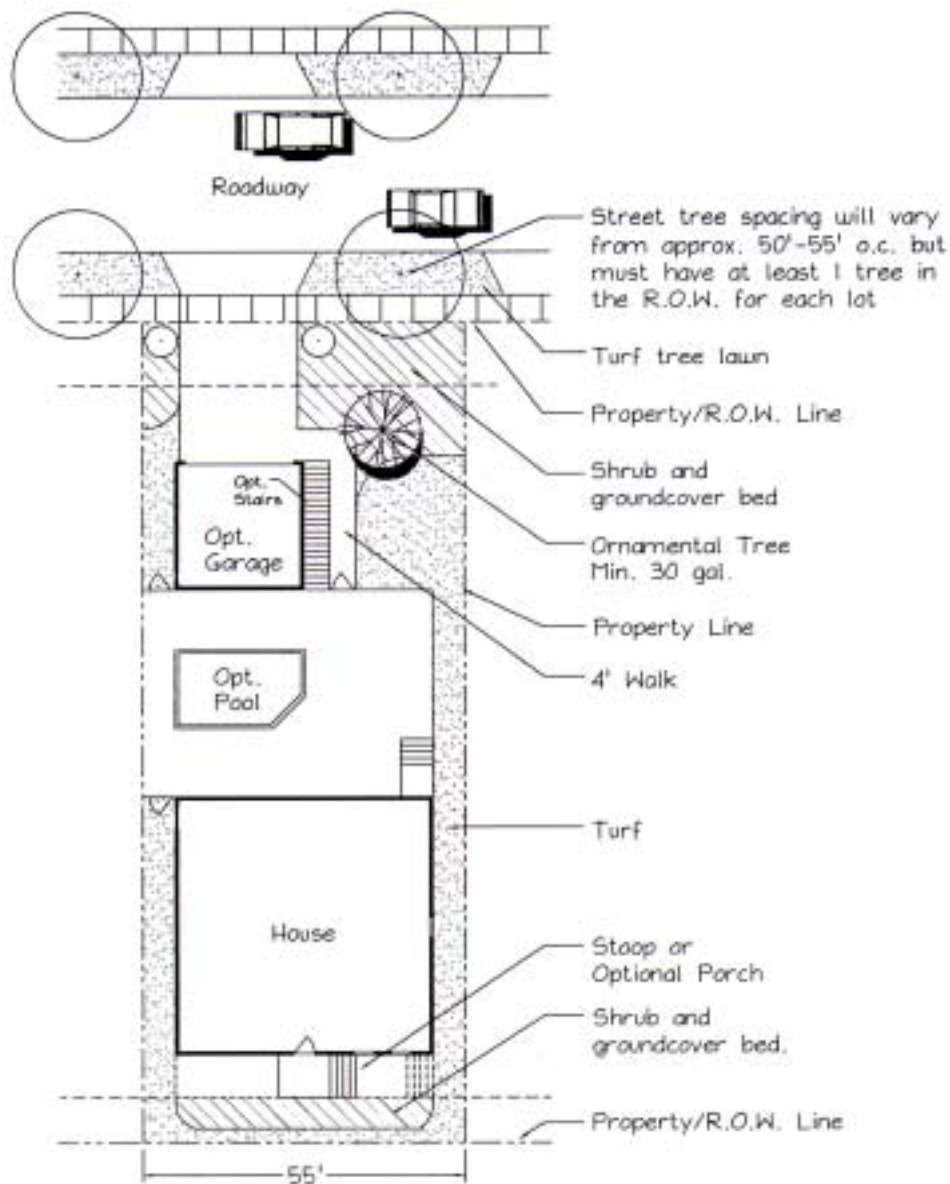
Building Envelope (Primary Structure)

Envelope Dimensions	40' wide x 93' depth (typical)
Building Height	1 to 3 Stories (40' max.)



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LANDSCAPE LEGEND



FOR A LIST OF PLANT SPECIES AND SIZE FOR EACH CATEGORY REFER TO THE PREFERRED PLANT LIST IN APPENDIX E.

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REUNIONSM RESORT & CLUB OF ORLANDO

RESIDENTIAL DESIGN GUIDELINES

Prepared by: **GINN ASSOCIATES**

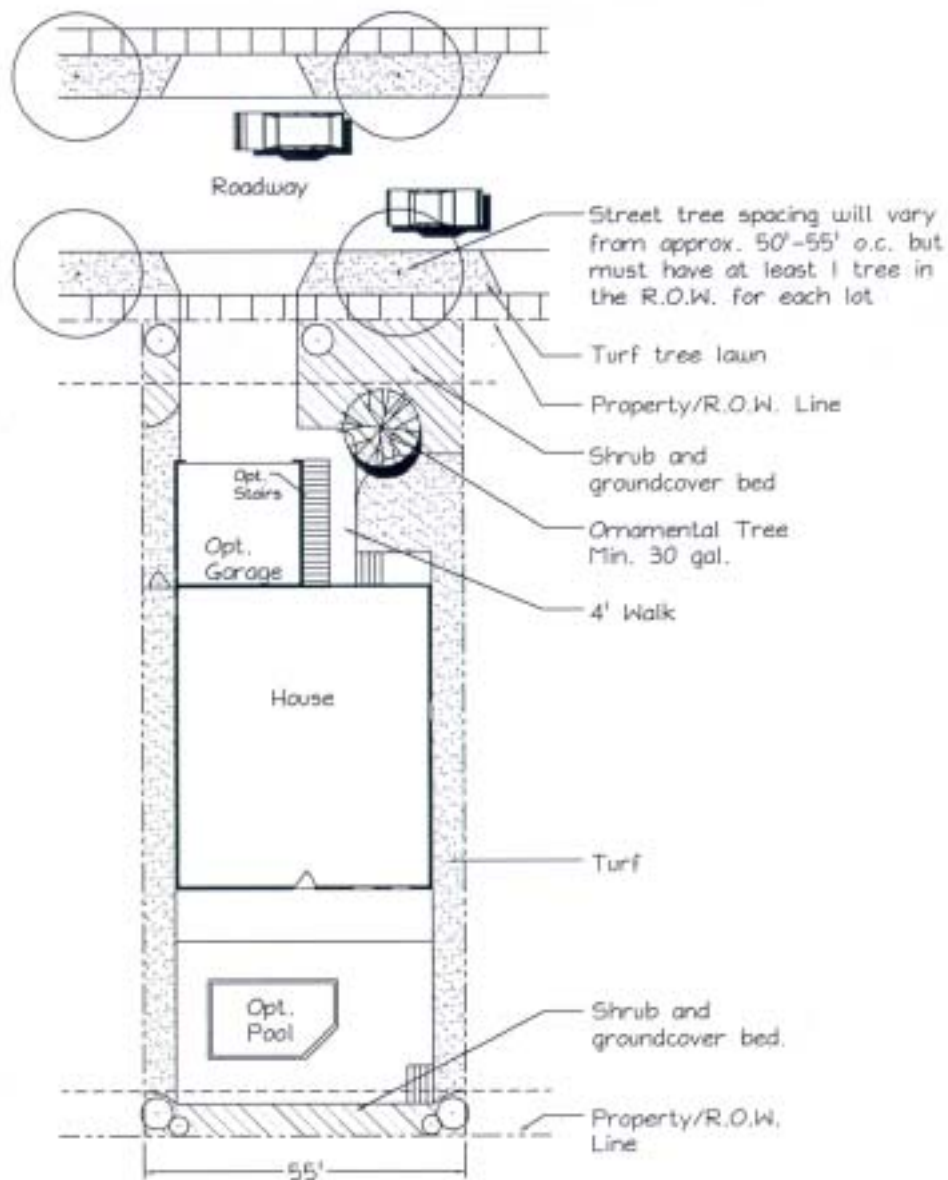


PHASE 1, PARCEL 1

TYPICAL GOLF COURSE LOT

MINIMUM LANDSCAPE PLAN

1-7



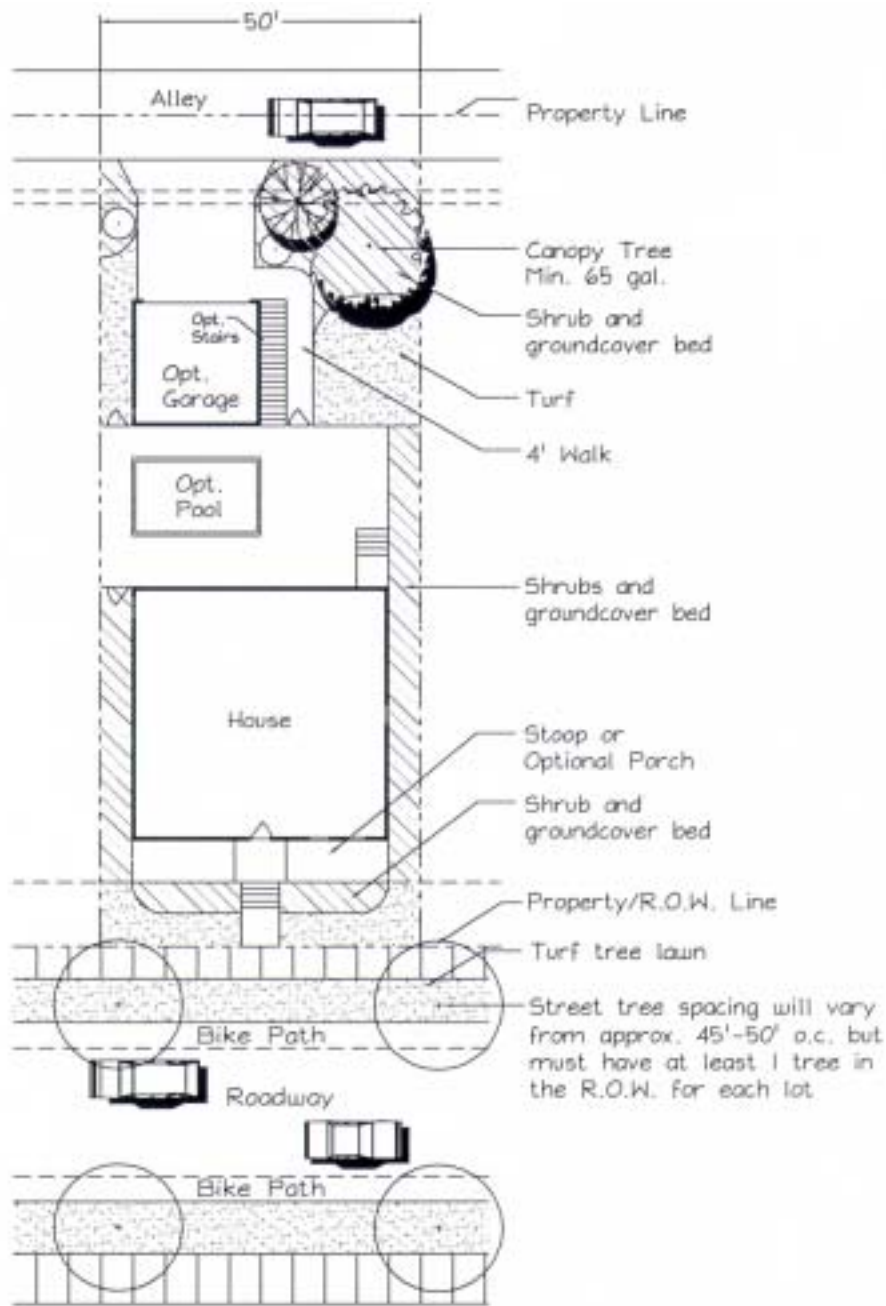
Street tree spacing will vary from approx. 50'-55' o.c. but must have at least 1 tree in the R.O.W. for each lot

LANDSCAPE LEGEND



FOR A LIST OF PLANT SPECIES AND SIZE FOR EACH CATEGORY REFER TO THE PREFERRED PLANT LIST IN APPENDIX E.

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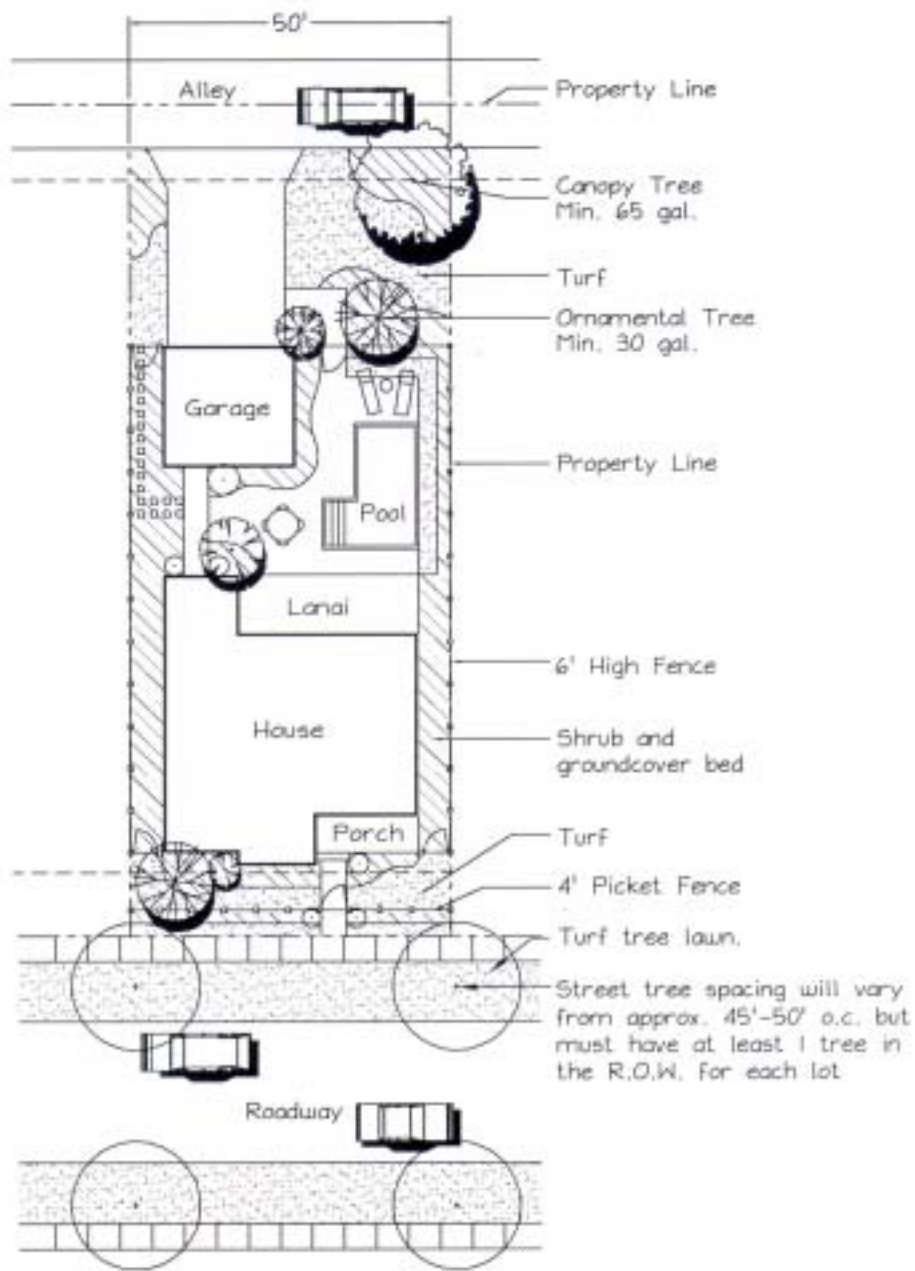


LANDSCAPE LEGEND

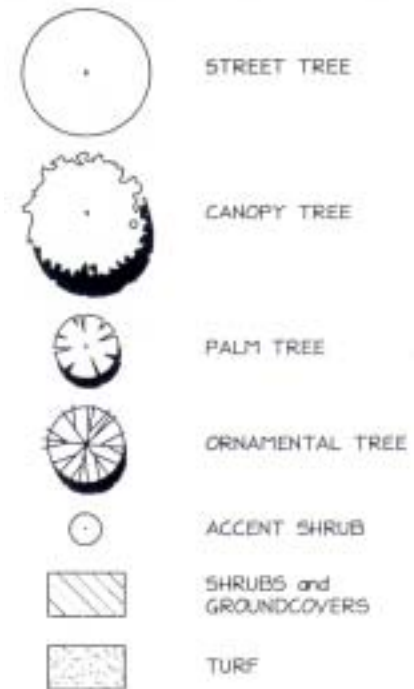


FOR A LIST OF PLANT SPECIES AND SIZE FOR EACH CATEGORY REFER TO THE PREFERRED PLANT LIST IN APPENDIX E.

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LANDSCAPE LEGEND



FOR A LIST OF PLANT SPECIES AND SIZE FOR EACH CATEGORY REFER TO THE PREFERRED PLANT LIST IN APPENDIX E.

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REUNIONSM
RESORT & CLUB
OF ORLANDO

APPENDIX B

APPROVED BUILDERS PROGRAM

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REUNIONSM RESORT & CLUB OF ORLANDO
RESIDENTIAL DESIGN GUIDELINES
Prepared by: **CONIN ASSOCIATES**



APPENDIX B

The Approved Builder Program for ReunionSM Resort & Club has been designed to address several issues which will ensure that ReunionSM Resort & Club will be the finest residential and resort community of its kind in Orlando. The following provisions represent the various rights, responsibilities, and understandings of the Builder, and of the Developer, GINN-LA Orlando LID., LLLP.

1. **Financial Statements.** Must be presented no less than annually, and/or at The Ginn Company's request. Builder must submit for the Developer's review Builder's current financial statements in detail satisfactory to the Developer. Additional information required is references from banks, subcontractors, suppliers, and customers.
2. **Design Review Process.** Approved Builder agrees to abide by all procedures, protective covenants, design guidelines, and rules applicable to the design review and construction process as outlined in the Detached Residential Design Guidelines of the Neighborhood Planning Criteria.
3. **Home Warranty.** Approved Builder will provide as a minimum a one (1) year warranty on all homes built in ReunionSM Resort & Club. The form of the warranty shall be provided and updated to the Developer.
4. **Customer Service.** Approved Builder must have and adhere to a written policy of customer service and satisfaction. Builder must be able to present it to the Developer at any time, as well as notify Developer of changes to it.
5. **ReunionSM Resort & Club Knowledge.** Approved Builder must have an understanding of the rules and regulations that impact the buyer at ReunionSM Resort & Club. Builder must have a complete understanding of the quality and high standards that will be upheld at Reunion Resort & ClubSM.
6. **Custom Homes.** Approved Builder must be willing to build from a customer's set of home plans approved by the Design Review Board.
7. **Production Capability.** Approved Builder must have the capability to maintain production on schedule without long periods of inactivity on site.
8. **Security Deposit.** Approved Builder shall pay a security deposit in the amount of \$5,000 per unit with a maximum of \$15,000 at the beginning of construction.
9. **Meetings.** Principals in Approved Builder's firm are expected to attend meetings and other functions called by Developer that are pertinent to this builder program.
10. **Insurance Requirements.** Approved Builder must maintain general liability, workman's compensation and builder's risk insurance in amounts acceptable to Developer, and supply ReunionSM Resort & Club with cancellations or changes. Also, Developer must be named as additional insured.
11. **Indemnification.** Approved Builder shall indemnify and hold harmless the Developer or any of its affiliates, ReunionSM Resort & Club, for any damages or liabilities which may arise by virtue of any of Builders actions or inaction under this program.
12. **Termination.** Either party (Approved Builder or Developer) may terminate this agreement upon 30 (thirty) days written notice and with no further rights or responsibilities, excepts as reasonably contemplated by terms of this program with respect to any construction committed by the Builder and with the Developer's approval. In this situation Developer shall have first right of refusal to purchase homesites and homes either being constructed or already built.
13. **Modification.** Ginn Real Estate Company and ReunionSM Resort & Club reserve the right to modify, change or cancel any of the terms of this agreement with written notice.
14. **ReunionSM Resort & Club Design and Construction Guidelines.** These documents shall be made part of this agreement and must be adhered to at all times.

Builder: _____

Signature: _____
Authorized Representative

Print Name: _____

Title: _____

Ginn Real Estate Company - ReunionSM Resort & Club

Signature: _____



Only a builder on Seller's list of approved builders is allowed to construct a home and related improvements on the property.

DISCLAIMER AND WAIVER:

To be allowed to build within the ReunionSM Resort & Club residential development, a builder must satisfy certain criteria and requirements established by Ginn Real Estate Company ("Seller"). However, the criteria and requirements established by Seller for a builder to so qualify are solely for the protection and benefit of Seller and Ginn Real Estate Company and are not intended to be, and shall not be constructed to, benefit Purchaser. Seller and Ginn Real Estate Company make no representation, expressed or implied, to Purchaser with regard to the approved builders, including, without limitation, the existence, nature and extent (including coverage amounts and deductibles) of insurance policies that may be maintained by such builder from time to time, the solvency or financial status of such builder from time to time, the nature and amount of bonds that may be maintained by such builders from time to time, the performance (or the ability to perform) by such builders of the contractual obligations (including and contractual obligations of any such builder in favor of Purchaser), the compliance by such builders with building codes and other requirements, rules, laws, and ordinances of federal, state and local government and quasi-governmental bodies and agencies from time to time. Furthermore, Seller and Ginn Real Estate Company shall have no responsibility whatsoever for any sum that Purchaser may deposit with an approved builder, including, without limitation, any earnest money or other deposit that Purchaser delivers to any such builder. Purchaser's selection of an approved builder shall be conclusive evidence the Purchaser is independently satisfied with regard to any and

all concerns and Purchaser has not relied on the advice or presentations of Seller, companies and persons affiliated with Seller, Ginn Real Estate Company or their agents in arriving at this conclusion; and all such advice and representations (if any) of Seller, companies and persons affiliated with Seller, Ginn Real Estate Company, and their agents are merged herein. Furthermore, Purchaser hereby waives any and all claims and rights Purchaser has or may have, now or in the future, against Seller, companies and persons affiliated with Seller, Ginn Real Estate Company and their agents related to any approved builder. The terms and provisions in this paragraph shall survive the Closing of the Sale and purchase of the Property as contemplated in the agreement to which the list of approved builder is attached.

Purchaser's Initials: _____

***ReunionSM Resort & Club
Approved Builders Program
East Side of I-4
Application***

Building Company _____

Company's Principal(s) Name(s) _____

Address _____

Telephone (s) _____

Fax _____

Email _____

Please provide the following information with this application:

1. Complete financial statements with financial institution's contact name and telephone number.
2. Three references, each from the following, including names, addresses, and contact information.
 - Banking
 - Building Suppliers
 - Sub-Contractors
 - Customers
 - Trade (Architects, Designers, etc.)
3. Location of current spec or model homes completed or under construction. Please include access information.
4. Any forms of marketing materials you currently use.

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REUNIONSM RESORT & CLUB OF ORLANDO

RESIDENTIAL DESIGN GUIDELINES

Prepared by: *COTIN ASSOCIATES*



APPROVED BUILDERS PROGRAM B-3



REUNIONSM
RESORT & CLUB
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APPENDIX C

RESIDENTIAL MINIMUM WIRING STANDARDS

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Network Interface Device (NID)

All homes will be equipped, by the local Exchange Carrier, with a fiber to the home (FTTH) type NID. An Optical Solutions Fiber Point 402 or 404 or equivalent will be placed at the structures point of entry with a minimum of one 1-1/4" conduit to the CPC (see "Service Feed & Distribution Requirements" below). Because the 402 or 404 devices require 12v power supplied by a 110v transformer with UPS, a 110v outlet will need to be located near the 402 or 404. An alternative to this could be to power the 402 or 404 by placing the transformer at the CPC location (which already has power) and feed the 12v back through the 1-1/4" conduit (20 ft. Limitation by spec).

NID Specifications:

- Voice
 - Two POTS RJ-11 (FiberPoint 402/412 or like device)
 - Four POTS RJ-11 (FiberPoint 404/414 or like device)
- Video
 - CATV (F-Type)
 - Analog and Digital
 - Switched digital video (BPOV/IP)
- Data
 - One 10/100 Base T autosending Ethernet port (RJ-45)
 - Up to 40 Mbps sustained data rate per subscriber
 - Bursts up to 100 Mbps
- Mechanical
 - Height: 16 inches (40.6cm)
 - Installed Height: 50 to 60 inches (1.3 to 1.5m above grade)
 - Width: 12 inches (30.5cm)

- Depth: 4.5 inches (11.4 cm)
- Weight: External unit with power cable – 8 lbs. (3.6 kg); Uninterruptible Power Supply mounted internally – 7 lbs (3.2 kg)
- Recommended Clearances
 - Left Side: 12 inches (30.48 cm)
 - Right Side: 6 inches (15.2 cm)
 - Front: 36 inches (91.4 cm) Standing Room
 - Rear: None
- In House Battery Backup (Local)
 - Source: UPS mounted in subscribers home
 - Power Termination: 20-foot (3m) cable with 8 connectors connected to UPS
 - Input Voltage: 12 Vdc (nominal)
 - Input Current: 750 mA (nominal)
- Battery Backup Time (Lifetime power)
 - Rated Capacity: 8 Hours

Distribution Panels

All homes must be equipped with a structured wiring system consisting of the Future Smart QND-48P Quick Network Distribution Panel or equivalent to serve as the Central Point of Connection (CPC) for all Voice, Data, Video and Security System wiring.

Minimum wiring between the CPC and the NID should consist of 2- CAT -5E and 2 - RG-6 cables.

Panel Specifications:

- Dimensions: 14.5" W x 18" H x 4" D
- Mounting: mounts between 16" on-center studs
- Shipping Weight: 16.00 lbs.
- Color: White

- Built-in 110V power outlet with an additional outlet located next to panel.
- 4 expansion bays

Telephone, Video Modules

The CPC must include a Future Smart MDC4-T8-RJ combination telephone and coax distribution module or equivalent. This module is used to collect and distribute voice and data signals.

Telephone & Video Module Specifications:

- Services up to 8 telephone locations and 4 TV locations
- 1 in, 4 out Coax (TV) Distribution Module (RG6 rated) with two pass through connections for DBS satellite
- 4 line to 8 location Telephone Module (CAT5 rated, RJ45 w/ RJ31X connector for security system integration)

Automation

Home automation systems are not called for in the Minimum Wiring Standard.

Outlets

Outlets must be FutureSmart Multi-Media Outlets or equivalent that are configurable for each access point and connected to the CPC.

Outlet Placement Specifications:

- Living Room/Family Room/Great Room (Each defined by floor plan) – Two FIR1-4W 4 port Multi-Media outlets featuring 2 telephone/data (Cat5E)



connections and two coax TV connections (RG6) each.

- Kitchen – One Single port Cat5E rated telephone wall outlet.
- Bedrooms – Two 4 port Multi-Media outlet. Includes 2 telephone/data Cat5E rated connections and 1 coax (RG6) connection each.
- Office/Den/External Living Space (Garage / Buildable Attic) – One 4 port Multi-Media outlet providing two telephone/data (Cat5E) connections and 1 coax (RG6) connection.
- Laundry /Utility (not required if closet space)– Single port Cat5E rated telephone wall outlet.

<u>Cable & Installation Specifications</u>			
Cable Specifications:			
Type of Cable	Type	Termination	Usage
Coaxial (Coax)	RG-6/U Quad shield type 75 ohm non-plenum coaxial cable	Professional grade F-Connector, crimp-on sleeve	Video display, local area network controls, TV/ CATV, Cable Modem
Category 5E Twisted Pair	Four unshielded 100 ohm extended distance / extended frequency twisted pair data cable	EIA/TIA 568-B CAT-5E rated	100 Mbps LAN applications, POTS
4-Wire 22-Gauge Twisted	Four unshielded twisted wires in non-plenum jacket	N/A	Security System
Fiber Optic	2-pair/4-strand MM fiber cable, tight buffer, Kevlar strength member, flame retardant OFNR (riser) rated PVC (Polyvinyl chloride) outer jacket, NEC rated	Single-Mode or Multi-Mode ST connectors depending upon application	Premium packages – High end video or data applications

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General Installation Specifications:

- Regional grounding and coding requirements must be followed for all pre-wiring and trim out. If any requirements listed here are in conflict with local codes, the local codes apply.
- All conduits must contain a pull string labeled "For communication use only".
- All cable runs must adhere to minimum bend radius specifications and must include a minimum of 18" additional cable slack behind box or mud ring.
- All cable runs must be at least 12" from parallel 110 VAC runs and must not cross over fluorescent lighting fixtures or other high voltage fixtures or devices.
- All cable runs must utilize modular jacks and plugs for cross-connection and must be clearly labeled on both ends of the cable to identify termination location.
- Pull strings must be left from all installed voice, data or video service locations to the CPC for later expansion.
- All voice and data cables will be CAT-5E rated, home-run to the CPC (no splitting, splicing or looping is permitted) wired to EIA/TIA 568B guidelines and be terminated with RJ-45 jacks at the CPC.
- No hard fasteners may be used on any low-voltage voice, data, video or security cables in the pre-wiring or trim-out stages.
- All connectors must be installed as per manufacturer's specifications by trained and certified technicians, including the use of recommended tools.

- Where it is necessary to penetrate a fire-rated wall, the hole must be sleeved with EMT and appropriate pulling bushings must be installed. The sleeve and penetrating hole must be sealed with a fire-retardant sealant. Where it is necessary to place an outlet in a fire-rated wall, a metal junction must be used to house the outlet.

Security System Installation Specifications (prewire):

- All keypads, sensors and switch locations included in this minimum requirement must be hardwired; all prewiring to sensors and ancillary equipment must be home run to the CPC security system control board.
- All security system wiring should be installed considering the security system main control board to be located within or near the structured wiring CPC.
- It is required that a minimum of two keypad locations be pre-wired with a minimum of four (4) wire, 22 gauge twisted wire. One keypad will be placed in the main entry area. The other keypad will be located in the master bedroom. In instances where the single-family dwelling has a garage, a third keypad location will be located in the garage. A minimum of one (1) motion detector location on the first floor must be prewired. One (1) interior siren location must be pre-wired and should be located on the ground floor. Smoke detector locations will follow industry recommended locations.
- All perimeter openings will be pre-wired and sensors installed. Sensors will be home run in 22/2 Zip wire to the control box location.

- Keypads will be home run in 18/4 fire wire to garage, entry and master bedroom locations.
- Transformers will be wired with 18/2 fire wire to outlet provided by builder for security system.
- Devices such as motion detectors and glass-breaks will be home run in 22/4 wire.
- Siren(s) will be wired with 22/4 wire. Pre-wire location will be next to the doorbell chime.
- There will be one spare 22/4 wire and one 18/4 fire wire run to attic for future use.
- When fire detection sensors are installed with security system, these sensors must be hardwired with a minimum of four (4) wire, 18 gauge solid fire rated cabling, must be fully supervised and looped back to the CPC location.
- The finished system must include a RJ-31X jack installed with line seizure configuration and must adhere to the zone naming convention provided by Reunion for continuity.

Garages / External Living Spaces

If a residence is constructed within the Reunion community with a detached studio/home office, garage, or an attached garage engineered for a second level to be constructed later, care must be given to provide for forward compatibility within these environments.

As a minimum, when a garage or studio/home office is not attached to the central living space it is necessary to install a 1" conduit from the Network Interface Device (NID) point of the central living space to a termination point at

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the CPC (determined by floor plan) within the detached structure. For pre-wiring requirements refer to home pre-wiring specifications commensurate with the detached structure intended use.

Service Feed & Distribution Requirements

Provisions for service feed cabling must be placed from each Permitted Home's Network Interface Device (NID) location in an uninterrupted path to all Service Providers' pedestal housings.

Wiring systems must also include additional conduit from/to the following locations:

- From the NID to electric and gas meter locations if they are not located within 6' of the NID(s) – one, 1" conduit.
- Two, 1" conduit risers from the CPC to the top floor or ceiling plane for future distribution considerations.

Add-ons, Upgrades and Enhancements

Homeowners may choose from any of the optional modules, components or upgrades in the FutureSmart or equivalent product catalog and additional cables (terminated or unterminated), accessories, outlets and locations may be purchased and installed at customer expense.



REUNIONSM
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APPENDIX D

GLOSSARY

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<p>Air Conditioned Area: The area contained within exterior walls and interior separating air conditioned space from non-air conditioned space, inclusive of the walls that contain them but exclusive of pilasters, and built-out surfaces on the exterior walls intended for architectural purposes.</p>	<p>Driveway: A private, paved road or space primarily used by automobiles at the entrance of a garage, carport or other parking spaces.</p>
<p>Arbor: A light open structure of trees or shrubs closely planted, either twined together or self-supporting, or supported on a light latticework frame.</p>	<p>Dwelling: (or Spaces) A building designed or used as the living quarters for one or more families.</p>
<p>Arcade: A line of counter-thrusting arches raised on columns or piers.</p>	<p>Exterior Living Areas: Shall refer to usable outdoor spaces for living, eating, cooking, lounging or combinations thereof.</p>
<p>Arterial streets: (as defined by the Osceola County Land Development Code) Arterial streets are the principal traffic carriers of an urban system. Their function is to move intra-urban and inter-urban traffic. Also, they serve the abutting property. However, their primary function is to carry high traffic volumes efficiently, and their service to abutting property should be limited. Arterial streets may range from a two-lane street carrying minor traffic volumes of several mile trip length (minor arterials) to major multi-lane divided roadways with controlled access.</p>	<p>Facade: The exterior faces of a building, primarily considered as the architectural front, sometimes distinguished from the other faces by elaboration of architectural ornamental details.</p>
<p>Balcony: A projecting platform on a building; sometimes supported from below, sometimes cantilevered; enclosed with a railing or balustrade.</p>	<p>Garage: Shall refer to a secured parking structure enclosed on all sides and includes a garage door.</p>
<p>Building Height: (As defined by the 2001 Florida Building Code) The vertical distance from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.</p>	<p>Gazebo: A freestanding, roofed structure usually open on all sides.</p>
<p>Carport: A covered automobile shelter with one or more sides open to the weather.</p>	<p>Habitable Room: A space used for living, sleeping, eating, cooking or combinations thereof, but not including bathrooms, closets, halls, storage rooms, utility and other similar spaces.</p>
<p>Colonnade: A range of columns placed at regular intervals supporting an entablature and usually one side of a roof.</p>	<p>Horizontal Separation: The distance in feet measured from the building face to the closest interior lot line, to the centered line of a street, alley or public way, or to an imaginary line between two buildings on the same property.</p>
	<p>Improvements: Refers to a structure, utility, installation or any other physical change made to a property to increase its value and utility or to improve its appearance.</p>
	<p>Interior Living Areas: See Primary Spaces.</p>
	<p>Lanai: A living room or lounge area which is entirely, or in part, open to the outdoors.</p>

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Loggia:	An arcaded or colonnaded structure, open on one or more sides, sometimes with an upper story; an arcaded or colonnaded porch or galley attached to a larger structure.	Public Space:	A legal open space on the premises, accessible to a public way or street, such as yards, courts or open spaces permanently devoted to public use, which abuts the premises.
Parking Spaces:	Shall refer to pervious or impervious spaces designed and dedicated for automobile parking, which may be roofed or enclosed by a structure, such as a carport or garage, or uncovered and open to the outdoors.	Public Way:	Any street, alley or other parcel of land open to the outside air, deeded, dedicated or otherwise permanently appropriated to the public for public use.
Patio:	An outdoor area adjoining or enclosed by the walls or arcades of a house; often paved and shaded.	Screen Enclosure:	A building or part thereof, in whole or in part self-supporting, and having walls of insect screening with or without removable vinyl or acrylic windbreak panels and a roof of insect screening, plastic, aluminum or similar lightweight material.
Pergola:	A garden structure with an open wood framed roof, often latticed, supported by regularly spaced posts or columns. The structure, often covered by climbing plants such as vines or roses, shades a walk or passageway; a colonnade, which has such a structure.	Sheltered Space:	Shall refer to any indoor or outdoor spaces that provide an overhead shelter and may include trellises, arbors or roofs.
Permanent Occupancy:	A dwelling unit inhabited for a minimum of six months of occupancy or greater by the same party, family or individuals.	Short-term Occupancy:	A dwelling unit inhabited for less than six months of occupancy by the same party, family or individuals.
Porch:	A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided.	Stem Walls	That portion of the foundation of a structure which transmits loads directly to the soil.
Porticos:	A porch or covered walk consisting of a roof supported by columns; a freestanding roofed colonnade.	Stop: (Architectural)	A platform or small porch, usually up several steps, at the entrance to a house.
Precedent: (Architectural Style)	Shall refer to an historical occurrence or existing model of a building or house to serve as an example, rule or convention to justify a subsequent design of the same or a like kind.	Transient Occupancy:	A dwelling unit inhabited for one month or less of occupancy by the same party, family or individuals.
Primary Spaces: (Interior Living Areas)	Shall refer to habitable spaces within a dwelling such as living areas, kitchens, dining rooms or bedrooms.	Trellis:	An open grating or latticework of either metal or wood; an arbor or framework for the support of vines.
Property Line:	A line dividing one lot from another.	Vernacular:	A mode or method of building based on regional forms and materials.

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APPENDIX E

PLANT LIST

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PREFERRED PLANT LIST

Botanical Name	Common Name	Minimum Size @ Installation
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STREET TREES

To be coordinated with Developer of neighborhood, please refer to Landscape Architectural Construction Documents for type of tree species per plans.

CANOPY TREES

Acer rubrum	Red Maple	65-Gallon
Gordonia lazianthus	Loblolly Bay	30-Gallon
Ilex cassine	Dahoon Holly	30-Gallon
Ilex opaca	American Holly	30-Gallon
Juniperus silicicola	Southern Red Cedar	30-Gallon
Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	65-Gallon
Magnolia grandiflora	Southern Magnolia	65-Gallon
Pinus elliotti densa	Slash Pine	30-Gallon
Pinus palustris	Longleaf Pine	30-Gallon
Platanus occidentalis	Sycamore	65-Gallon
Quercus laurifolia	Laurel Oak	65-Gallon
Quercus nuttalli	Nuttall Oak	65-Gallon
Quercus shumardii	Shumard Oak	65-Gallon
Quercus virginiana	Live Oak	65-Gallon
Taxodium distichum	Bald Cypress	65-Gallon
Ulmus parvifolia 'Drake'	Drake Elm	65-Gallon
Ulmus parvifolia 'Emer II'	Allee Elm	65-Gallon

PALM TREES

Butia capitata	Pindo Palm	6-8' c.t.
Chamaerops humilis	European Fan Palm	2-6' c.t.
Livistonia chinensis	Chinese Fan Palm	6-10' c.t.
Phoenix canariensis	Canary Island Date Palm	10' c.t.
Phoenix dactylifera 'Medjool'	Medjool Dactylifera Palm	10' c.t.
Sabal palmetto	Cabbage Palm	8-10' c.t.
Syagrus romanzoffiana	Queen Palm	10-12' c.t.
Trachycarpus fortunei	Windmill Palm	4' c.t.
Washingtonia robusta	Washington Palm	10-12' c.t.

ORNAMENTAL TREES

Betula nigra	River Birch	8-10' o.a.
Callistemon rigidus	Erect Bottle Brush	6-8' o.a.
Callistemon viminalis	Weeping Bottle Brush	6-8' o.a.
Citrus spp.	Orange, Grapefruit, Lemon	6-8' o.a.
Cupressus sempervirens	Italian Cypress	6-8' o.a.
Elaeocarpus decipens	Japanese Blueberry	30-Gallon
Eriobotrya japonica	Loquat	6-8' o.a.

Botanical Name	Common Name	Minimum Size @ Installation
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ORNAMENTAL TREES (continued)

Ilex latifolia	Mary Nell Holly	30-Gallon
Ilex 'Nellie Stevens'	Nellie Stevens Holly	30-Gallon
Ilex vomitoria 'Weeping Yaupon'	Yaupon Holly	6-8' o.a.
Juniperus chinensis 'Torulosa'	Torulosa Juniper	6'-0" o.a.
Lagerstroemia indica spp.	Crape Myrtle Species (Multi-Stem)	30-Gallon
Ligustrum japonicum	Ligustrum (Multi-Stem)	30-Gallon
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	30-Gallon
Magnolia virginiana	Sweet Bay	6-8' o.a.
Myrica cerifera	Wax Myrtle	30-gallon
Podocarpus macrophyllus	Japanese Yew	6-8' o.a.
Tabebuia caraiba	Silver Trumpet	6-8' o.a.

ACCENT SHRUBS

Alpinia zerumbet	Shell Ginger Lily	7-Gallon
Chamaerops humilis	European Fan Palm	7- or 15-Gallon
Crinum asiaticum	Crinum Lily	7-Gallon
Cycas revoluta	King Sago	7-Gallon
Gardenia augusta	Gardenia	7-Gallon
Livistonia chinensis	Chinese Fan Palm	7-Gallon
Pennisetum setaceum	White Fountain Grass	3-Gallon
Phoenix roebelenii	Pygmy Date Palm	4' o.a.
Rhapis excelsa	Lady Palm	3-Gallon
Strelitzia reginae	Bird of Paradise	7-Gallon
Zamia pumila	Coontie Fern	3-Gallon

SHRUB & GROUND COVERS

Agapanthus africanus	Lily of the Nile	1-Gallon
Allamanda nerifolia	Bush Allamanda	3-Gallon
Aspidistra elatior	Cast Iron Plant	3-Gallon
Bougainvillea spp.	Bougainvillea Species	3-Gallon
Camellia japonica	Pink Camellia	3-Gallon
Camellia sasanqua	Sasanqua Camellia	3-Gallon
Carrissa macrocarpa 'Boxwood Beauty'	Natal Plum	3-Gallon
Cuphea hyssopifolia spp.	Heather Species	1-Gallon
Cyrtomium falcatum	Holly Fern	1-Gallon
Dietes vegetata	White African Iris	3-Gallon
Feijoa sellowiana	Pineapple Guava	3-Gallon
Ficus pumila	Creeping Fig	1-Gallon
Galphemia gracilis	Thyrallis	3-Gallon

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REUNIONSM RESORT & CLUB OF ORLANDO

RESIDENTIAL DESIGN GUIDELINES

Prepared by: **CONIN ASSOCIATES**



PLANT LIST E-1

PREFERRED PLANT LIST (CONTINUED)

Botanical Name	Common Name	Minimum Size @ Installation
SHRUB & GROUND COVERS (continued)		
Gamolepis chrysanthemoides	African Bush Daisy	1-Gallon
Gardenia jasminoides	Gardenia	3-Gallon
Hedera helix	English Ivy	4" Pot
Hemerocallis spp.	Daylily Species	3-Gallon
Hibiscus rosa-sinensis	Chinese Hibiscus	3-Gallon
Ilex cornuta 'Burfordii'	Burford Holly	3-Gallon
Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	3-Gallon
Ilex crenata	Japanese Holly	3-Gallon
Ilex vomitoria spp.	Yaupon Holly Species	3-Gallon
Illicium floridanum	Red Anise	3-Gallon
Ixora coccinea	Ixora	3-Gallon
Jasminum multiflorum	Downy Jasmine	3-Gallon
Juniperus chinensis 'Parsonii'	Parson's Juniper	3-Gallon
Juniperus chinensis 'Pfitzeriana Nick's Compact'	Nick's Compact Pfitzer Juniper	3-Gallon
Juniperus conferta 'Compacta'	Dwarf Shore Juniper	3-Gallon
Lantana camara	Gold Lantana	1-Gallon
Lantana montevidensis	Purple Lantana	1-Gallon
Ligustrum japonicum	Japanese Privet	3-Gallon
Liriope spp.	Liriope Species	1-Gallon
Loropetalum chinese rubrum spp.	Fringe Bush Species	3-Gallon
Mandevilla x amabilis 'Alice Du Pont'	Alice Dupont Mandevilla	3-Gallon, 4' Trail
Muhlenbergia capillaris	Muhly Grass	3-Gallon
Myrica cerifera	Wax Myrtle	3-Gallon
Nandina domestica	Heavenly Bamboo	3-Gallon
Ophiopogon japonicus	Mondo Grass	3-Gallon
Osmanthus fragrans	Tea Olive	3-Gallon
Pennisetum setaceum 'Cupreum'	Red Fountain Grass	3-Gallon
Philodendron selloum	Split-Leaf Philodendron	3-Gallon
Philodendron selloum 'Xanadu'	Xanadu Philodendron	3-Gallon
Photinia frazeri	Shrub Photinia	3-Gallon
Pittosporum tobira	Green Pittosporum	3-Gallon
Pittosporum tobira compacta	Compact Green Pittosporum	3-Gallon
Plumbago auriculata	Imperial Blue Plumbago	3-Gallon
Podocarpus macrophyllus	Podocarpus	3-Gallon
Rhaphiolepis indica 'Alba'	White Indian Hawthorn	3-Gallon
Rhaphiolepis indica 'Rose'	Pink Indian Hawthorn	3-Gallon
Rhododendron indica spp.	Azalea Species	3-Gallon
Sabal minor	Blue-Stem Palmetto	3-Gallon

Botanical Name	Common Name	Minimum Size @ Installation
SHRUB & GROUND COVERS (continued)		
Spartina bakeri	Sand Cord Grass	3-Gallon
Ternstroemia gymnanthera	Japanese Cleyera	3-Gallon
Trachelospermum asiaticum	Dwarf Asiatic Jasmine	1-Gallon
Trachelospermum asiaticum 'Variegatum'	Dwarf Variegated Asiatic Jasmine	1-Gallon
Trachelospermum jasminoides	Confederate Jasmine	1-Gallon
Tripsacum floridana	Fakahatchee or Gamma Grass	3-Gallon
Viburnum odoratissimum	Sweet Viburnum	3-Gallon
Viburnum suspensum	Sandankwa Viburnum	3-Gallon
Wedelia trilobata	Wedelia	1-Gallon
TURF		
Stenotaphrum secundatum	St. Augustine Grass	Solid Sod
Cynodon dactylon '419'	Bermuda Grass	Solid Sod

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PLANT LIST E-2